

# Memorandum to the City of Markham Committee of Adjustment

October 13, 2020

**File:** A/091/20  
**Address:** 34 Shady Lane Cres – Markham, ON (Thornhill)  
**Applicant:** Tiago Dos Santos & Belinda Naccarato  
**Agent:** SH Design  
**Hearing Date:** Wednesday October 21, 2020

The following comments are provided on behalf of the West Team. The applicant is requesting relief from the following requirements of “Fourth Density Single Family Residential – (R4A)” under By-law 2150, as amended, as it relates to a front covered porch and building addition. The variances requested are as follows:

- a) **Amending By-law 2223, Section 1 - Minimum Front Yard Setback:**  
a minimum front yard setback of 19.84 ft (6.05 m), whereas the By-law requires a minimum front yard setback of 20.0 ft (6.10 m); and
- b) **Section 3.7 - Permitted Yard Encroachment:**  
a maximum unenclosed roofed porch and eaves encroachment of 91.0 inches, or 2.31 m (7.58 ft) into the required front yard, whereas the By-law permits a maximum encroachment of 18.0 inches, or 0.46 m (1.50 ft) into the required front yard.

## BACKGROUND

### Property Description

The 772.19 m<sup>2</sup> (8,311.78 ft<sup>2</sup>) subject property is located on the north side of Shady Lane Crescent, north of Royal Orchard Boulevard, west of Bayview Avenue, and south of and adjacent to a railway corridor. There is an existing single detached dwelling, with mature vegetation existing on the property. The property is located within an established residential neighbourhood that contains a mix of one and two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments.

### Proposal

The applicant is proposing to remove the existing covered front porch and construct a new covered porch, which would encroach into the required front yard. The applicant is also proposing a two-storey addition in the rear yard. Staff note that the applicant is not requesting any variances for the proposed rear yard addition.

### Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The subject property is designated “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the “Residential Low Rise” designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, infill development is required to meet the general intent of these development

criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new development within a residential neighbourhood.

#### Zoning By-Law 2150, as amended

The subject property is zoned “Fourth Density Single Family Residential – (R4A)” under By-law 2150, as amended, which permits one single detached dwelling per lot. The proposed development does not comply with the By-law requirements with respect to the minimum front yard setback, and maximum encroachment into the required front yard.

#### **Zoning Preliminary Review (ZPR) Undertaken**

The applicant completed a ZPR on September 24, 2020 to confirm the variances required for the proposed development.

#### **COMMENTS**

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment (“the Committee”):

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

#### **Reduction in Front Yard Setback**

The applicant is requesting relief to permit a minimum front yard setback of 19.84 ft (6.05 m), whereas the By-law requires a minimum front yard setback of 20.0 ft (6.10 m). This is a reduction of 0.05 m (0.16 ft).

Staff are of the opinion that the proposed variance results in a main front building wall which is generally consistent with the front yard setback pattern of adjacent dwellings.

#### **Increase in Maximum Roofed Porch & Eaves Encroachment**

The applicant is requesting a maximum roofed porch and eaves encroachment of 91.0 inches, or 2.31 m (7.58 ft) into the required front yard, whereas the By-law permits a maximum roofed porch and eaves encroachment of 18.0 inches, or 0.46 m (1.50 ft) into any required yard. This is an increase of 1.85 m (6.08 ft).

This requested variance relates to a proposed 6.33 m (20.77 ft) wide, one-storey covered front porch. Staff are of the opinion that the proposed covered front porch will not significantly add to the overall bulk and massing of the dwelling provided that it remains unenclosed.

#### **Tree Protection & Compensation**

There are existing trees located throughout the property, notably within the front yard in proximity to the proposed area of work. Adequate tree protection measures, including the erection of tree hoarding may be required to ensure the protection of certain trees prior to the commencement of construction, or if agreed upon with City staff, that replacement trees or replacement fees be provided to the City in the case where removal is deemed necessary. In the event of approval, staff recommend that the tree protection and compensation conditions in Appendix “A” be adopted by the Committee.

**PUBLIC INPUT SUMMARY**

No written submissions were received as of October 13, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act, R.S.O. 1990, c. P.13, as amended*, and are of the opinion that the variance request meets the four tests of the *Planning Act*, and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

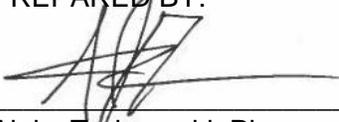
Please see Appendix "A" for conditions to be attached to any approval of this application.

**APPENDICES**

Appendix "A" – Conditions of Approval

Appendix "B" – Plans

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



Stephen Kitagawa, Acting-Development Manager, West District

**APPENDIX "A"**  
**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/091/20**

1. That the covered front porch remains unenclosed;
2. That the variances apply only to the subject development, in substantial conformity with the batch stamped plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his or her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to his or her satisfaction; and
5. That tree replacements or tree replacement fees be provided to the City, if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:

  
\_\_\_\_\_  
Aleks Todorovski, Planner, Zoning and Special Projects

**APPENDIX "B"**  
**PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/091/20**

CANADIAN NATIONAL RAILWAY  
LOT 32, CONCESSION 1

MUNICIPAL No. 34, SHADY LANE CRESCENT, MARKHAM

**PART 2 (SURVEY REPORT)**

1. REGISTERED BY-LAWS, EASEMENTS AND/OR RIGHT OF WAYS: SUBJECT TO AN EASEMENT AS IN INSTRUMENT No. MA57567.
2. ADDITIONAL COMMENTS: NOTE THE LOCATION OF THE FENCES ALONG THE NORTHERLY, EASTERLY AND WESTERLY LIMITS OF THE SUBJECT PROPERTY.
3. THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS REPORT WAS PREPARED FOR DOS SANTOS, TIAGO AND NACCARATO, BELINDA AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

**BENCHMARK NOTE**

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF MARKHAM BENCHMARK No.0011931U483S, HAVING AN ELEVATION OF 190.133 METRES. TOWNSHIP: LAGSTAFF PUBLIC SCHOOL (1926) AT THE WEST SIDE OF YONGE STREET, TABLET IN FRONT OF EAST CONCRETE FOUNDATION WALL, 9.8M FROM NORTHEAST CORNER AND 15CM BELOW BRICKWORK.

**SURVEYOR'S REAL PROPERTY APPENDIX BRT**

**PART 1 - PLAN OF LOT 375**

**REGISTERED PLAN 7686**

**CITY OF MARKHAM**

SCALE 1:200



KAD LANKA SURVEYING INC. O.L.S. ©

**METRIC**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**LEGEND**

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES REGISTERED PLAN 7686
- PL1 DENOTES PLAN OF SURVEY BY J.D. BARNES LTD., O.L.S.'s DATED 31st JULY 1967.
- PL2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY KRCMAR SURVEYORS LTD., O.L.S.'s DATED OCTOBER 31, 2011.
- PL3 DENOTES PLAN OF SURVEY BY J. D. BARNES AND ASSOCIATES LTD., O.L.S.'s DATED OCTOBER 17, 1965.
- (1370) DENOTES KRCMAR SURVEYORS LTD., O.L.S.'s
- (JDB) DENOTES J.D. BARNES LTD., O.L.S.'s
- (OU) DENOTES ORIGIN UNKNOWN
- (IS) DENOTES CORNER SET BY INTERSECTION METHOD
- FF DENOTES FINISHED SILL ELEVATION AT ENTRY
- GF DENOTES GARAGE FLOOR ELEVATION
- SRW DENOTES STONE RETAINING WALL
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- MH DENOTES MANHOLE
- CB DENOTES CATCH BASIN
- HM DENOTES HYDRO METER
- HP DENOTES HYDRO POLE
- GM DENOTES GAS METER
- DT DENOTES DECIDUOUS TREE
- CT DENOTES CONIFEROUS TREE

ALL TIES TO THE FOUNDATION UNLESS OTHERWISE NOTED

**BEARING NOTE**

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS (ORP's) 1 AND 2 BY RTK OBSERVATIONS (CANNET) UTM ZONE 17 NORTH, NAD83 (CSRS)

FOR BEARING COMPARISONS, A ROTATION BEARING OF 01°06'40" COUNTER-CLOCKWISE APPLIED TO BEARINGS ON PL AND PL2 TO CONVERT TO THE UTM GRID BEARINGS.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 5th DAY OF AUGUST, 2020

DATE 06, AUGUST, 2020

*Wineetha Rathnayake*

WINEETHA RATHNAYAKE  
ONTARIO LAND SURVEYOR

**KAD LANKA SURVEYING INC.**

34, EZRA CRESCENT  
BRAMPTON, ON, L7A 5A6  
PHONE: 905-493-4523  
Email: info@kadankasurveying.ca

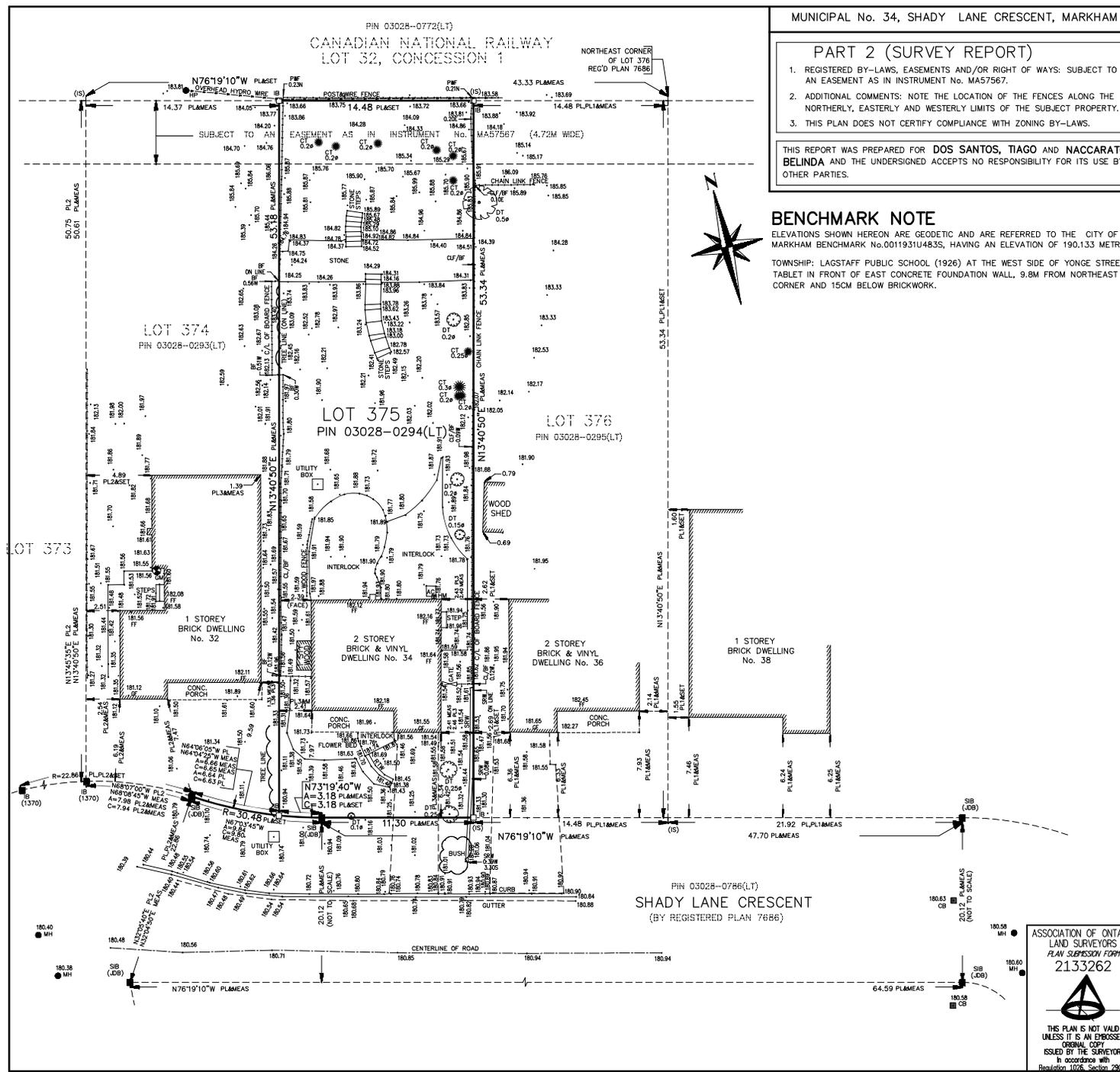


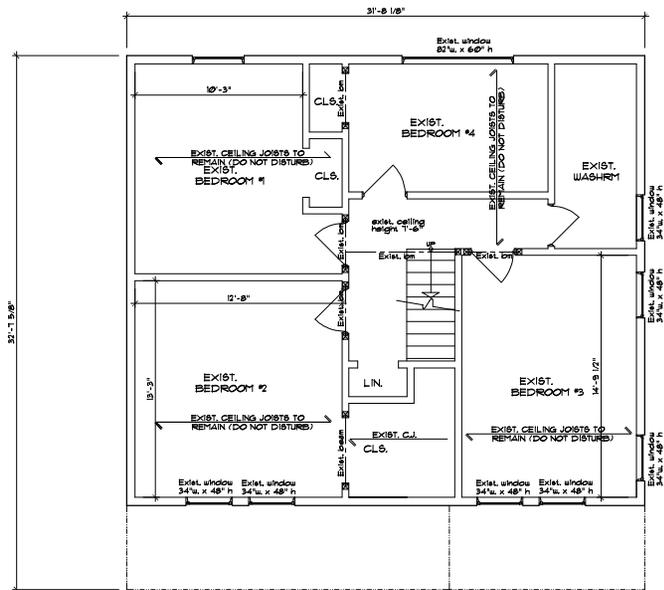
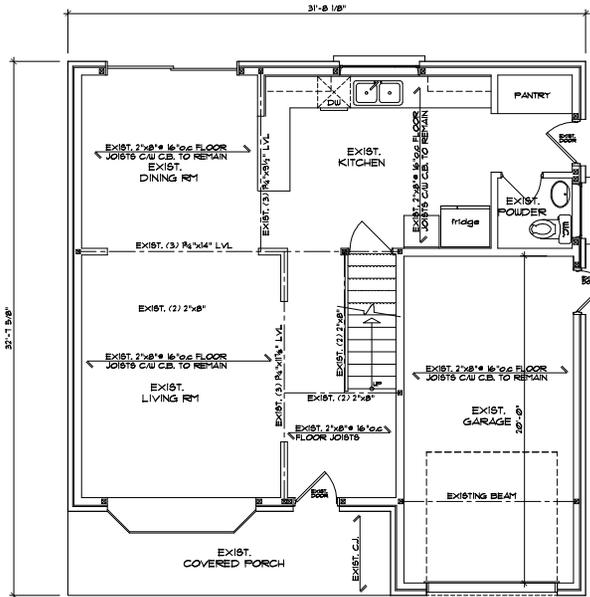
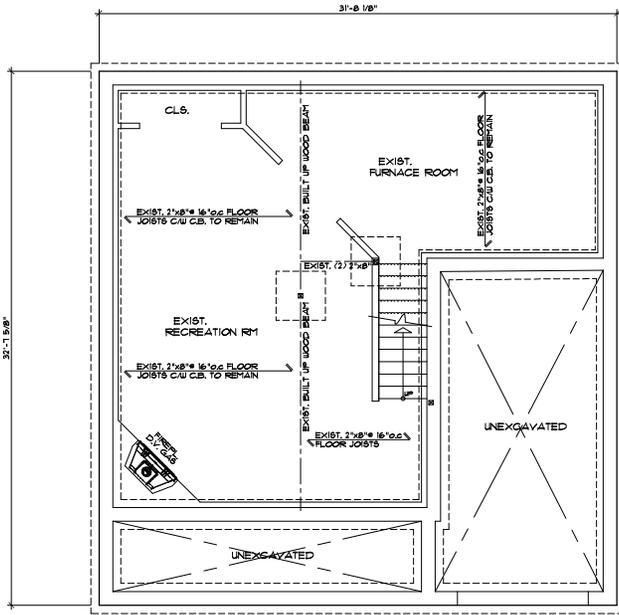
ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2133262



THIS PLAN IS NOT VALID UNLESS IT IS AN CROSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1028, Section 29(3)

DRAWN BY: V.R.	CHECKED BY: V.R.	CAD NUMBER: 2020-052-SRPR	JOB NUMBER: 2020-052
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DETAIL NO.  
DETAIL SHEET NO.  
REVISIONS

NO.	DESCRIPTION	DATE
1	MAILED FOR BUILD. & TENDER	JULY 10/2020

**SH DESIGN**  
YOUR VISION, OUR EXPERTISE

DESIGN, CONSULTATIONS, DRAFTING  
- RESIDENTIAL DESIGNS  
- CURB CUT NOTES  
- ADDITIONS & RENOVATIONS

SAMIR HINNAWI  
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Email: shdesign@rogers.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN EXEMPT UNDER 2.1.3.1 OF THE BUILDING CODE

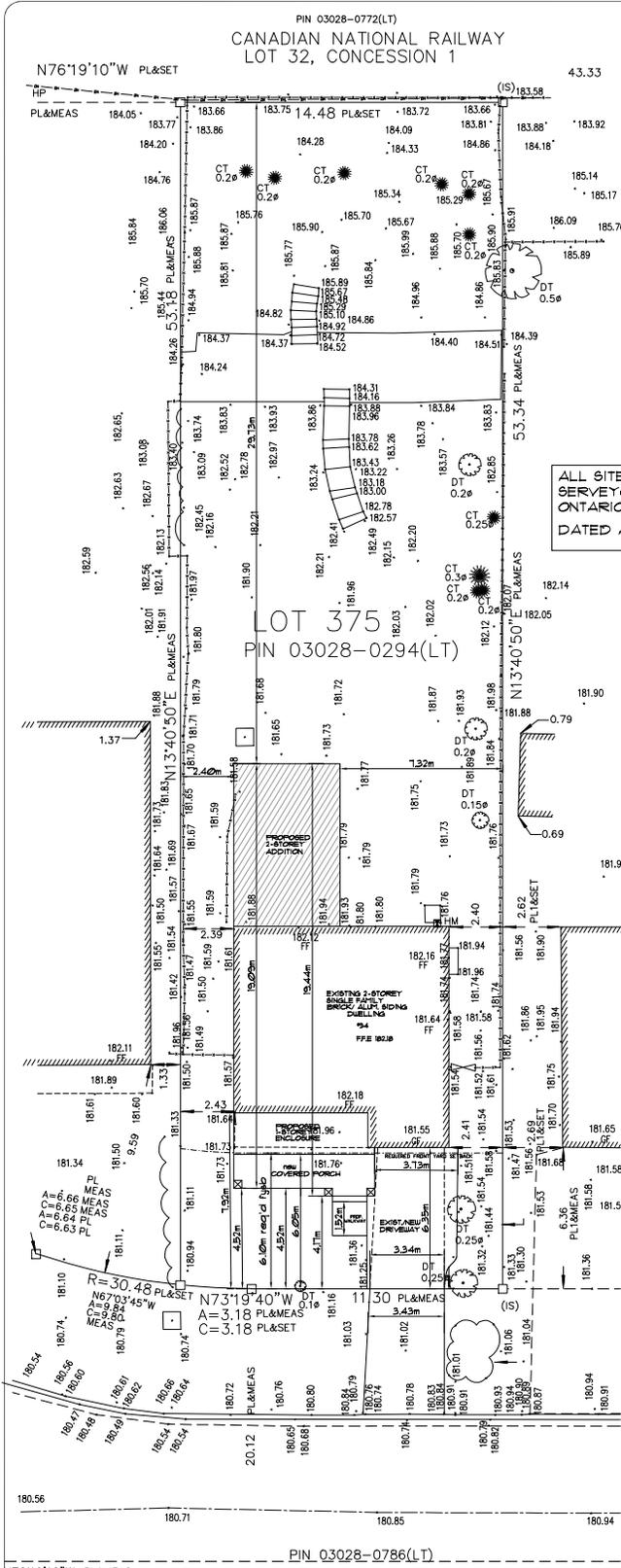
SAMIR HINNAWI 34165  
NAME SIGNATURE BCN

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FRONT PORCH EXTENSION  
2-STORY REAR ADDITION  
MINOR INTERIOR ALTERATIONS  
34 SHADY LANE  
MARKHAM, ONTARIO

EXISTING FLOOR PLANS

DRAWN BY: CHECKED BY: SHEET  
DATE: SCALE: FILE  
JUNE 2020 3/16" = 1'-0" E-1

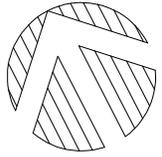
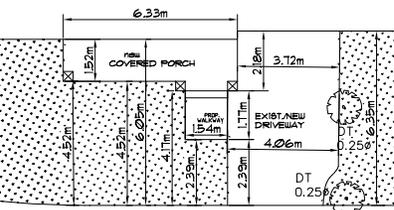


ALL SITE PLAN INFORMATION IS TAKEN FROM  
 SURVEYOR'S KAD LANKA & SURVEYING INC.  
 ONTARIO LAND SURVEYORS  
 DATED AUGUST 06, 2020

- SITE DATA & INFORMATION  
 SITE PLAN SHOWING  
 PLAN OF SURVEY  
 LOT 375  
 PIN 03028-0294(LT)  
 REGISTERED PLAN NO. 1686  
 TOWNSHIP OF MARKHAM  
 COUNTY OF YORK

LOT AREA = 712.19 sqm
LOT COVERAGE (CALCS) MAX 33.3%
- DUELLING (incl. GARAGE) = 932.41 sq.ft. (86.63 sqm)
- PROPOSED FRONT PORCH ENCLOSURE = 121.87 sq.ft. (11.32 sqm)
- PROPOSED REAR ADDITION = 375.0 sq.ft. (34.84 sqm)
TOTAL = 1541.84 sq.ft. (143.24 sqm)
PROVIDED = 18.54%
MAX FLOOR AREA RATIO -N/A
- FIRST FLOOR AREA (exist.) = 932.41 sq.ft. (includes garage)
- PROPOSED FRONT ENCLOSURE = 121.87 sq.ft.
- PROPOSED 2-storey ADDITION = 750.0 sq.ft.
- SECOND FLOOR AREA (existing) = 871.12 sq.ft.
TOTAL = (2485.56 sqm) 2,675.46 sq.ft.
PROVIDED 32.2%

LANDSCAPING	
FRONT YARD AREA = 89.14 sqm	
DRIVEWAY AREA = 24.42 sqm	
FRONT PORCH = 10.45 sqm	
WALKWAY/STAIRS = 2.73 sqm	
TOTAL HARD LANDSCAPE = 37.66 sqm	
SOFT LANDSCAPING AREA = 51.54 sqm	
MAX COVERAGE = 51.8%	



NO.	ISSUED FOR BUILD & TENDER	DATE
1	ISSUED FOR BUILD & TENDER	JULY 10, 2020

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 DESIGN CONSULTATIONS, DRAFTING  
 - RESIDENTIAL DESIGN  
 - CUSTOM HOMES  
 - ADDITIONS & RENOVATIONS  
 SAMIR HINNAWI  
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THE ARCHITECT HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
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SAMIR HINNAWI 34165  
 NAME SIGNATURE BCR

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FRONT PORCH EXTENSION  
 2-STOREY REAR ADDITION  
 MINOR INTERIOR ALTERATIONS  
 34 SHADY LANE  
 MARKHAM, ONTARIO

SITE PLAN		
DRAWN BY:	CHECKED BY:	SHEET S.P.
DATE AUG. 2020	SCALE 1:150	FILE

NOTE: REFER TO PAGE "D-1" "D-2" FOR GENERAL CONSTRUCTION NOTES AND DOOR SIZES

NOTE: WINDOW MANUFACTURERS TO CHECK ALL EXISTING WINDOW SIZES PRIOR TO MANUFACTURING PROPOSED WINDOWS (AS REQ'D)

NOTE: SHORE UP EXISTING STRUCTURES PRIOR TO REMOVAL OF ANY EXISTING WALLS (AS REQ'D) TYP. ALL FLOORS

NOTE: ALL WINDOW POSTS ARE TO BE (3) 2"x6" WOOD STUDS UNLESS NOTED OTHER WISE

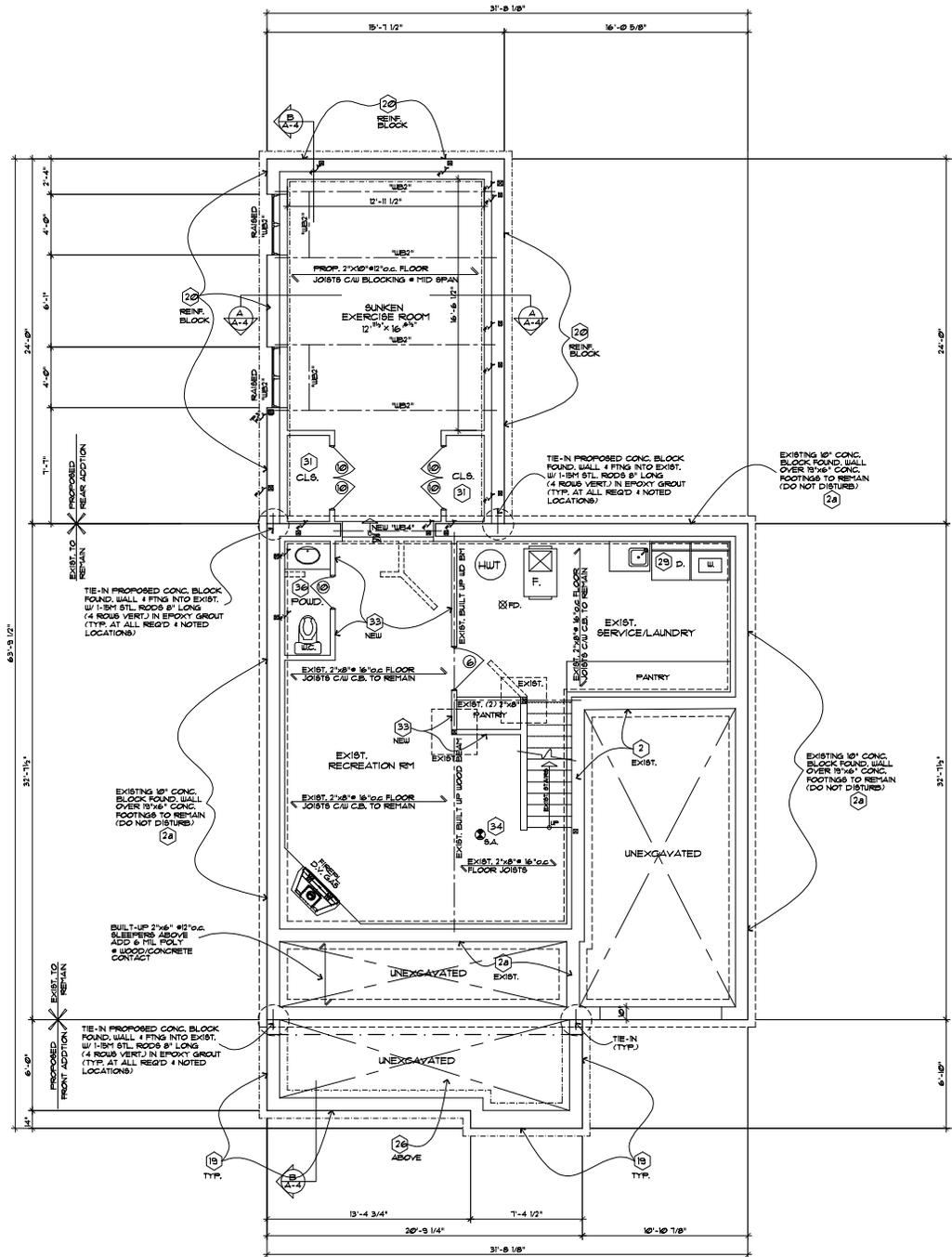
NOTE: ASSUMED SOIL BEARING CAPACITY = 2500 PSF MIN.

NEW WALLS (AS REQ'D) REFER TO CONSTRUCTION NOTES (33)(37) AS INDICATED

EXISTING WALLS TO BE DEMOLISHED, PATCH & FILL (AS REQUIRED)

EXISTING WALLS TO REMAIN (DO NOT DISTURB) (AS REQUIRED)

NOTE: SHORE UP EXISTING STRUCTURES PRIOR TO REMOVAL OF ANY EXISTING WALLS (AS REQ'D) TYP. ALL FLOORS



EXISTING / PROPOSED BASEMENT FLOOR PLAN



NO.	REVISIONS	DATE
1	ISSUED FOR BUIL. & TENDER	JULY 10/2020

**SH DESIGN**  
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DESIGN CONSULTATIONS, DRAFTING  
- RESIDENTIAL DESIGN  
- CUSTOM HOMES  
- ADDITIONS & RENOVATIONS

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN EXEMPT UNDER 2.7(4) OF THE BUILDING CODE

SAMIR HINNAUJI 34165  
NAME SIGNATURE BCN

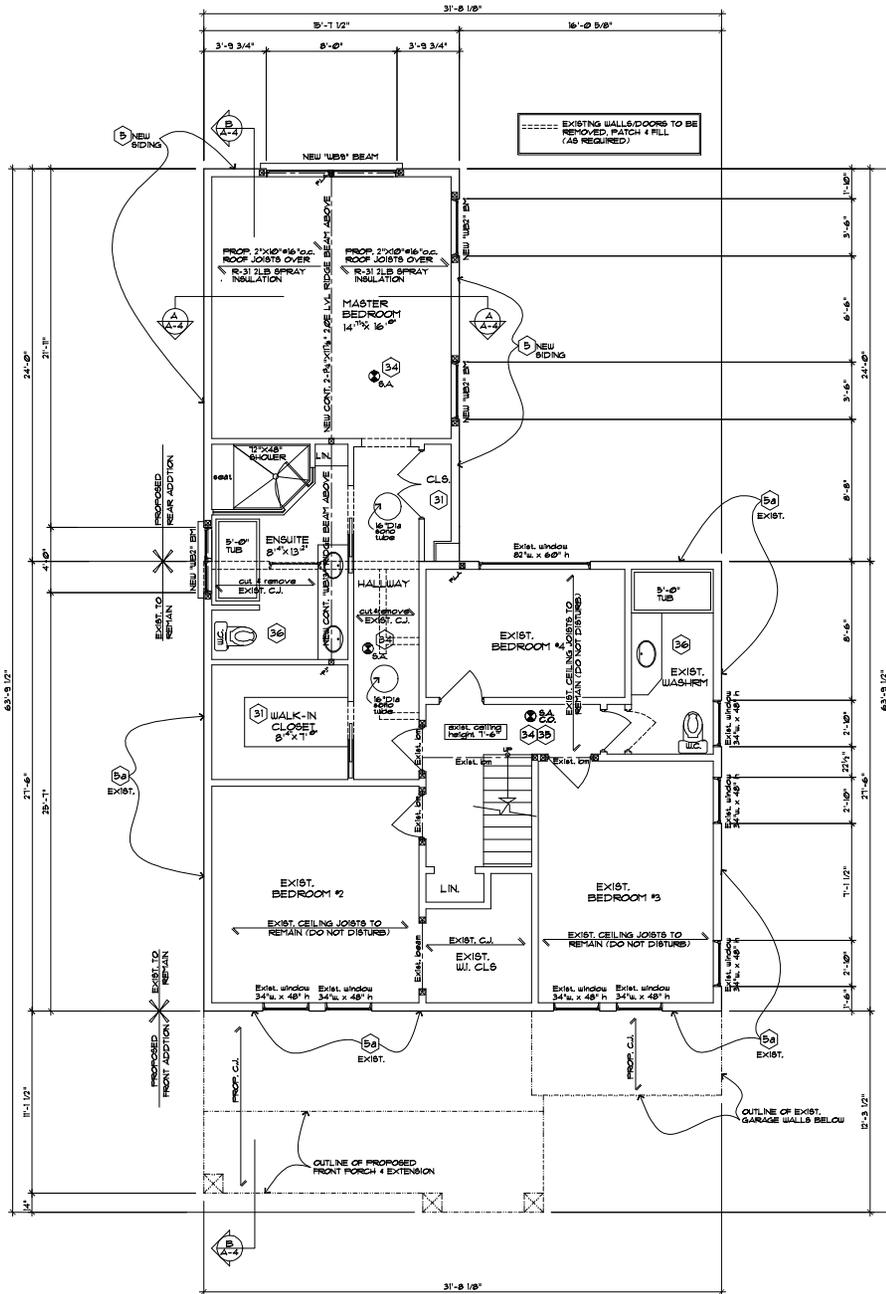
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FRONT PORCH EXTENSION  
2-STORY REAR ADDITION  
MINOR INTERIOR ALTERATIONS  
34 SHADY LANE  
MARKHAM, ONTARIO

BASEMENT FLOOR PLAN

DRAWN BY: CHECKED BY: SHEET A-1  
DATE: SCALE: FILE

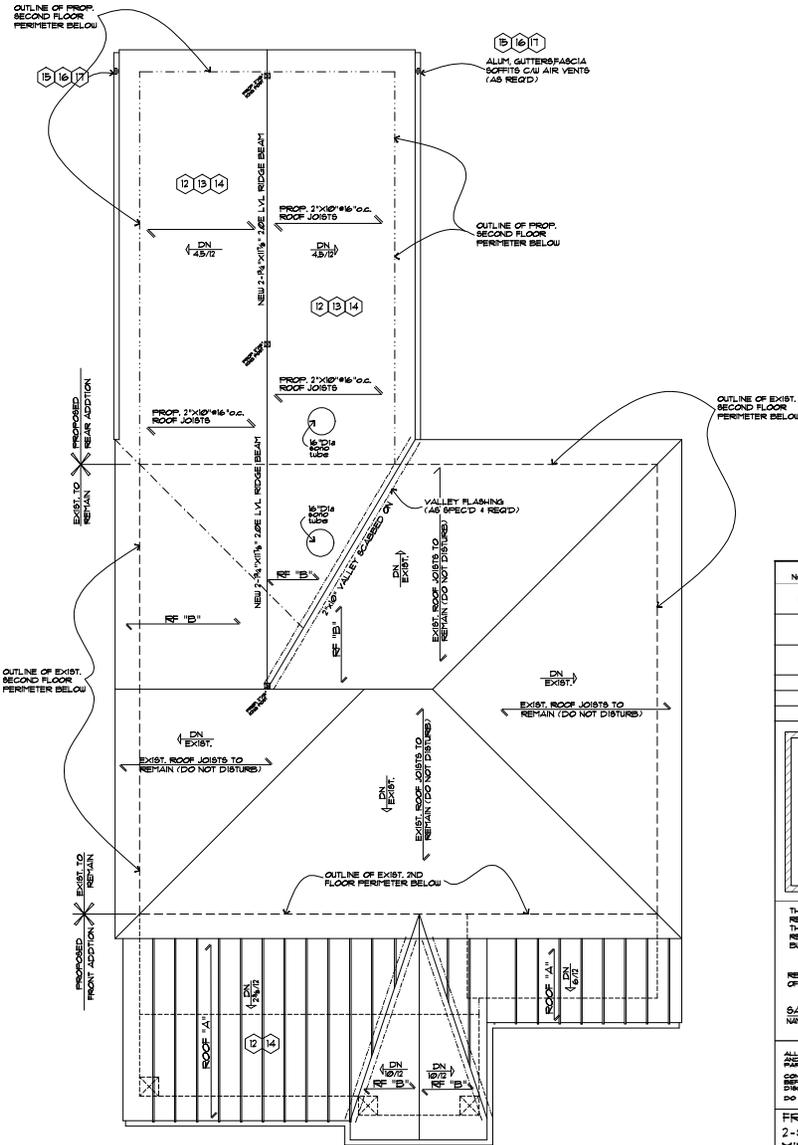
JUNE 2020 3/16" = 1'-0"



EXISTING /PROPOSED  
SECOND FLOOR PLAN

**ROOF "A"**  
HAND CUT BUILT UP 2"x4"  
#16"O.C. RAFTERS, W/ 2"x6"  
HIPS, 2"x6" VALLEY NAILER  
C/W MIN. 5/16" PLYWOOD W/ H-CLIPS  
OR 1/16" LUMBER

**ROOF "B"**  
HAND CUT BUILT UP 2"x4"  
#16"O.C. RAFTERS, W/ 2"x6"  
HIPS, 2"x6" VALLEY NAILER  
C/W MIN. 5/16" PLYWOOD W/ H-CLIPS  
OR 1/16" LUMBER SCABBED ON MAIN  
ROOF FRAME



EXISTING /PROPOSED  
ROOF PLAN

DETAIL NO.  
DETAIL  
REVISIONS

NO.	ISSUED FOR BUILD #	DATE
1	TENDER	JULY 03/2016

**SH DESIGN**  
YOUR VISION. OUR EXPERTISE

- DESIGN, CONSULTATIONS, DRAFTING
- RESIDENTIAL DESIGNS
- CUSTOM HOMES
- ADDITIONS & RENOVATIONS

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Email: shdesign@rogers.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
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SAMIR HINNAWI 34165  
NAME SIGNATURE BCN

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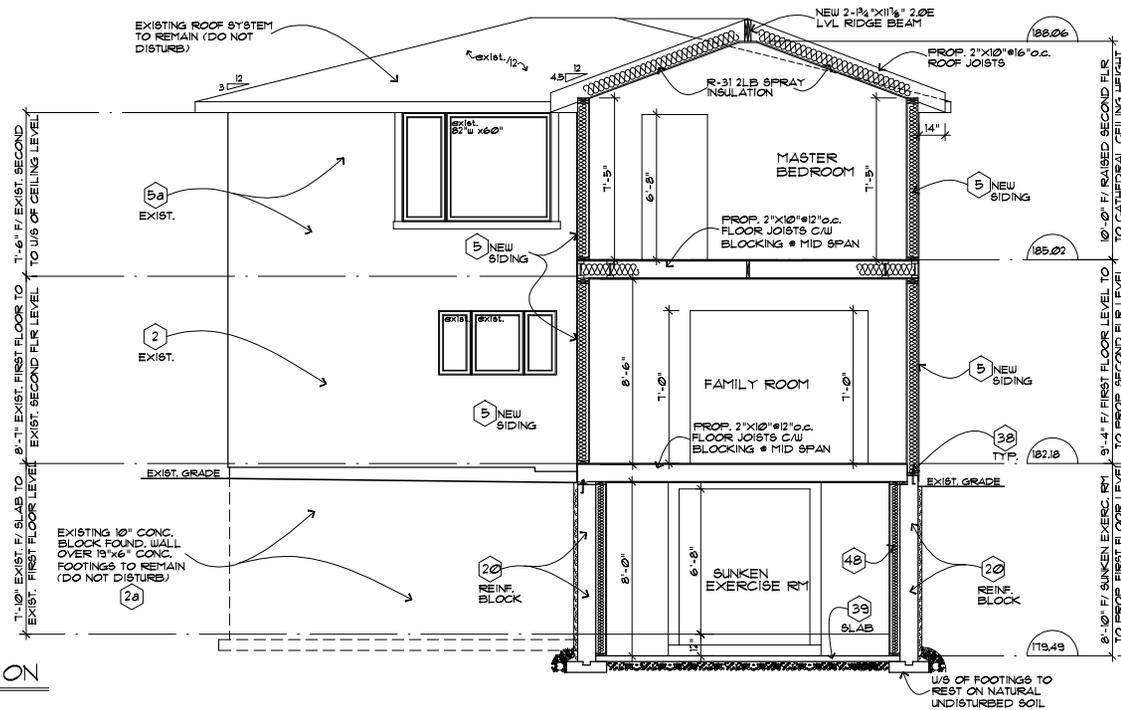
FRONT PORCH EXTENSION  
2-STORY REAR ADDITION  
MINOR INTERIOR ALTERATIONS  
34 SHADY LANE  
MARKHAM, ONTARIO

SECOND FLOOR  
PLAN & ROOF

DRAWN BY:	CHECKED BY:	SHEET
		A-3
DATE	SCALE	FILE
JUNE 2020	3/16" = 1'-0"	

- NEW WALLS (AS REQ'D) REFER TO CONSTRUCTION NOTES (33-37) AS INDICATED
- EXISTING WALLS TO BE DEMOLISHED, PATCH & FILL (AS REQUIRED)
- EXISTING WALLS TO REMAIN (DO NOT DISTURB) (AS REQUIRED)

**A**  
A-4 CROSS SECTION



NO.	REVISIONS	DATE
1	ISSUED FOR BUILD. & TENDER	JULY 2020

**SH DESIGN**  
YOUR VISION. OUR EXPERTISE

- DESIGN CONSULTATIONS, DRAFTING
- RESIDENTIAL DESIGN
- CUSTOM HOMES
- ADDITIONS & RENOVATIONS

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Email: shdesignprogers.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNDER REG. 217.1.1 OF THE BUILDING CODE

SAMIR HINNAWI 34165  
NAME SIGNATURE BCN

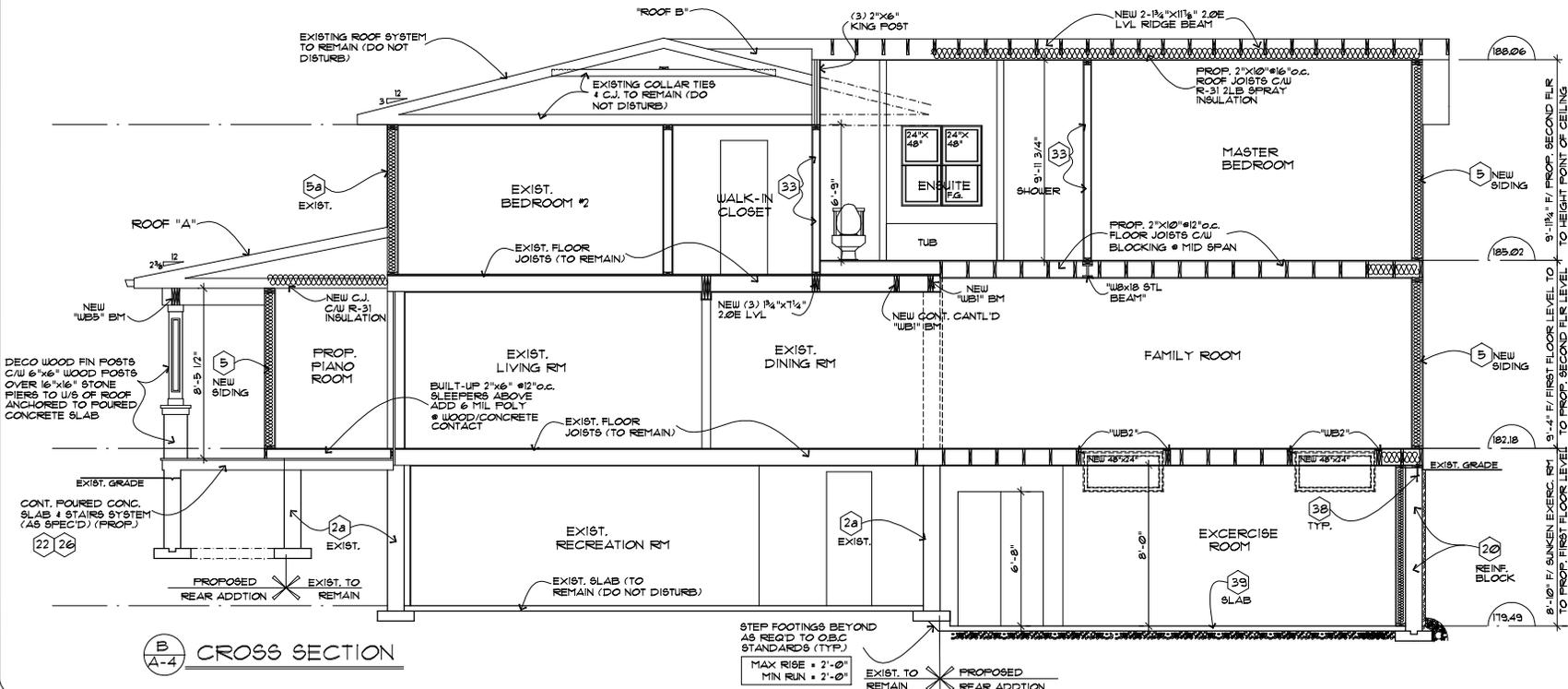
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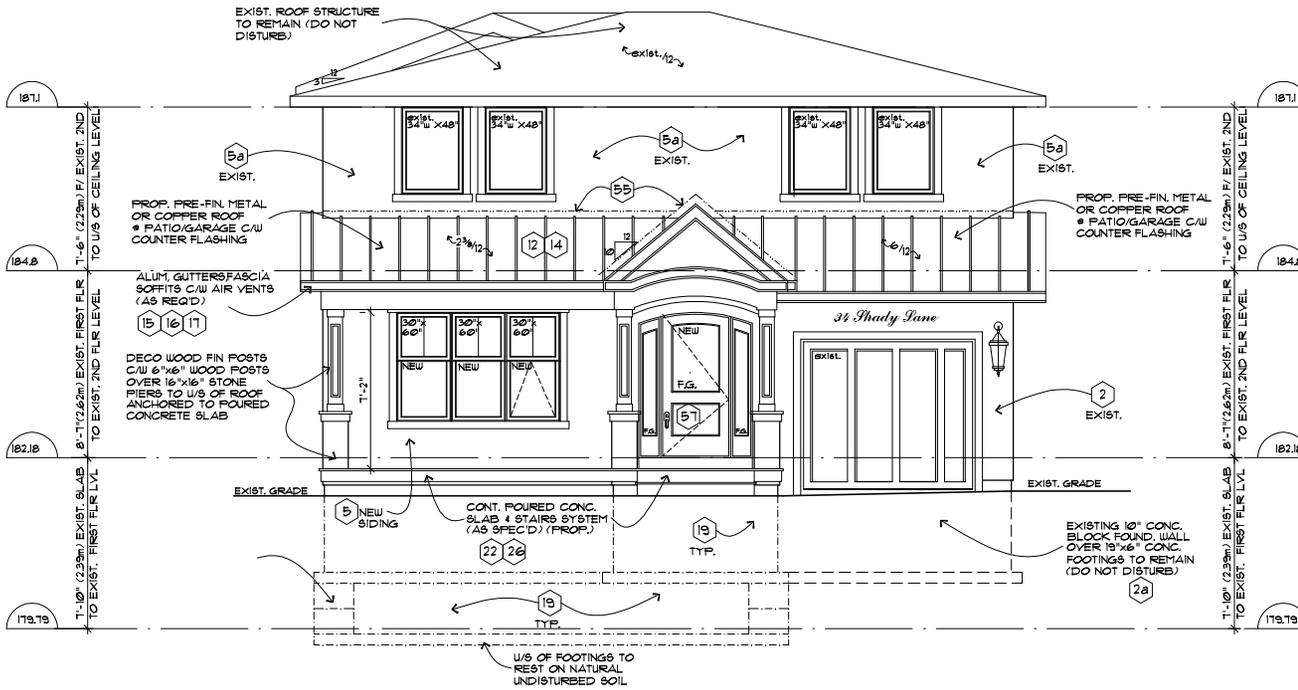
FRONT PORCH EXTENSION  
2-STOREY REAR ADDITION  
MINOR INTERIOR ALTERATIONS  
34 SHADY LANE  
MARKHAM, ONTARIO

CROSS SECTIONS

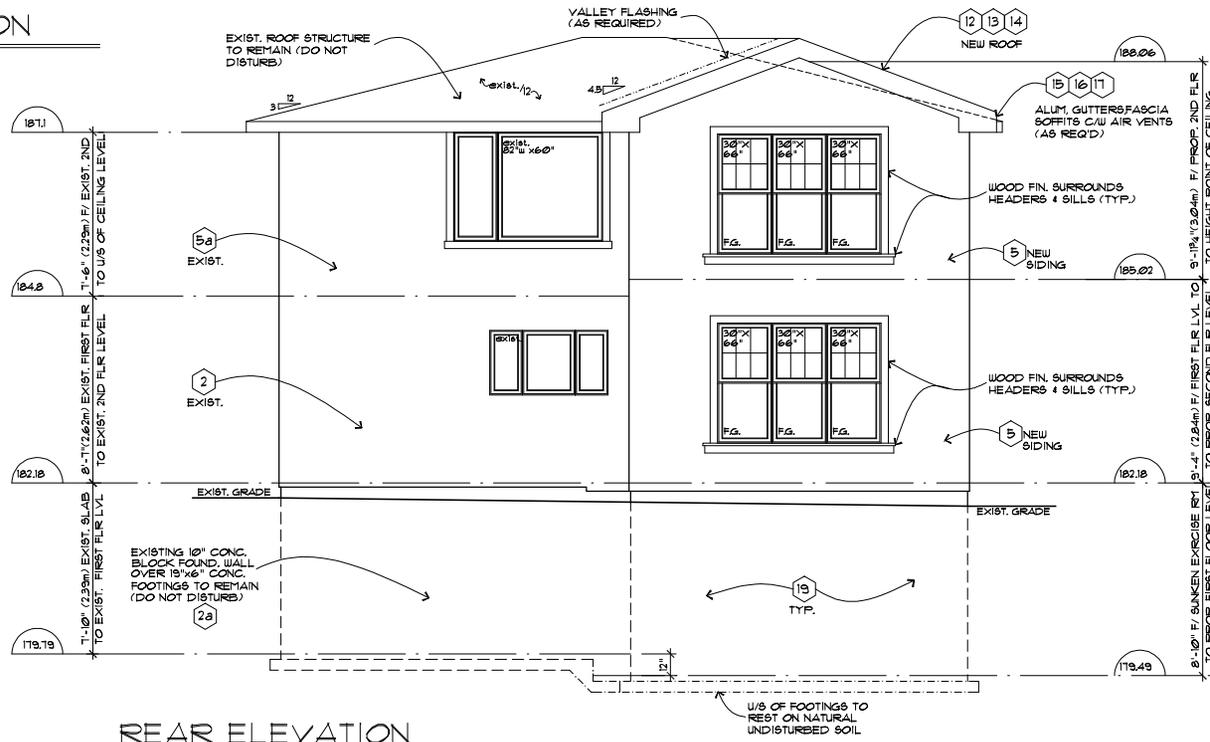
DRAWN BY:	CHECKED BY:	SHEET
DATE	SCALE	A-4
JUNE 2020	1/4" = 1'-0"	FILE

**B**  
A-4 CROSS SECTION





FRONT ELEVATION



REAR ELEVATION

DETAIL NO.  
DETAIL  
REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILD. & TENDER	JULY 10/2020

**SH DESIGN**  
YOUR VISION. OUR EXPERTISE

- DESIGN, CONSULTATIONS, DRAFTING
- RESIDENTIAL DESIGNS
- CUSTOM HOMES
- ADDITIONS & RENOVATIONS

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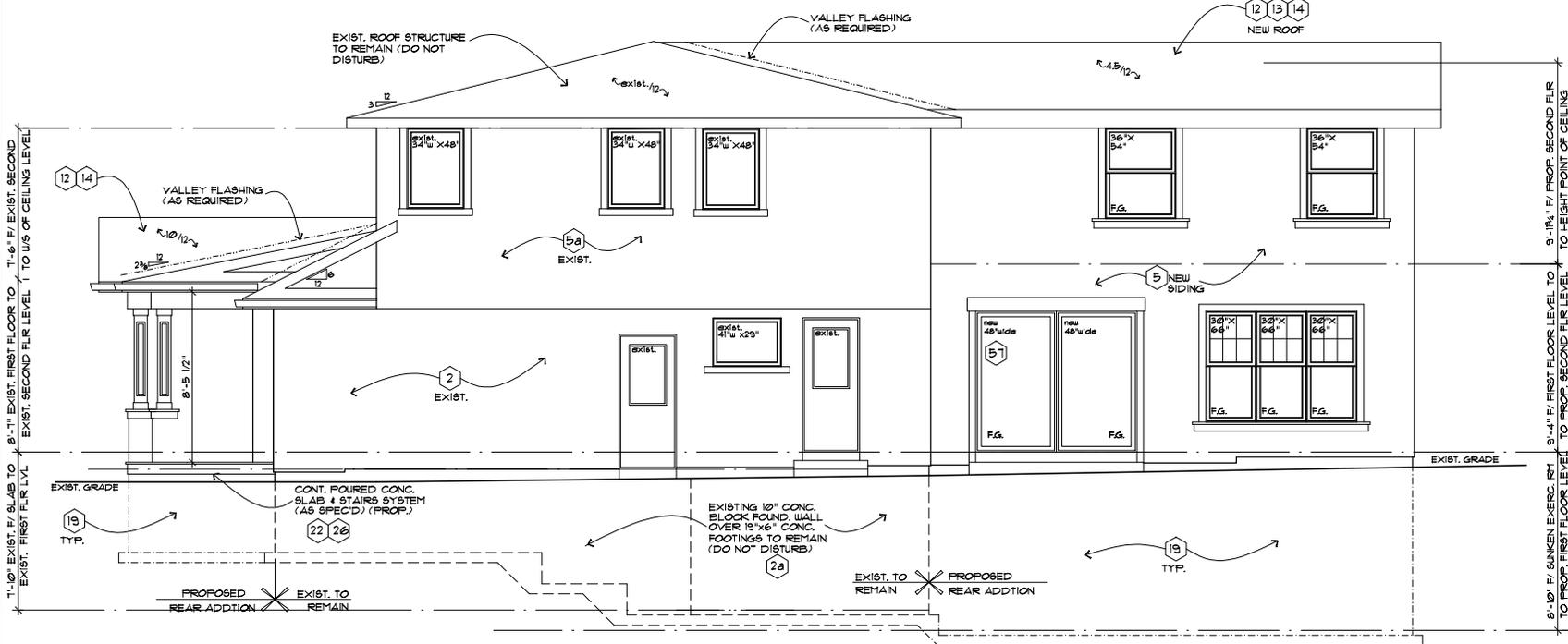
SAMIR HINNAWI 3/4/16  
NAME SIGNATURE BCN

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FRONT PORCH EXTENSION  
2-STORY REAR ADDITION  
MINOR INTERIOR ALTERATIONS  
34 SHADY LANE  
MARKHAM, ONTARIO

FRONT & REAR ELEVATIONS

DRAWN BY:	CHECKED BY:	SHEET A-5
DATE JUNE 2020	SCALE 1/4" = 1'-0"	FILE



RIGHT SIDE ELEVATION

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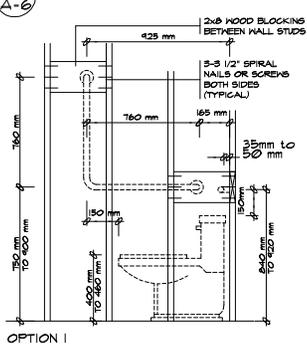
ALL CHANGES ARE THE PROPERTY OF THE ENGINEER. FRONT PORCH EXTENSION, ADDITION OF 2-STOREY REAR ADDITION, MINOR INTERIOR ALTERATIONS, 34 SHADY LANE, MARKHAM, ONTARIO

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2-STOREY REAR ADDITION  
MINOR INTERIOR ALTERATIONS  
34 SHADY LANE  
MARKHAM, ONTARIO

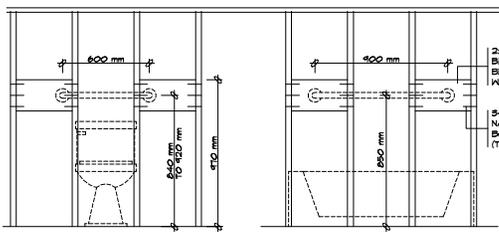
RIGHT SIDE ELEVATION

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DATE	SCALE	A-6
JUNE 2020	1/4" = 1'-0"	FILE

1 STUD WALL REINFORCEMENT (MAIN BATHROOM)



W.C. SIDE ELEVATION



W.C. FRONT ELEVATION

SHOWER/TUB WALL SIDE ELEVATION

GRAB BAR REINFORCEMENT

REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN THE MAIN BATHROOM OF A DWELLING UNIT. IF GRAB BAR IS NOT INSTALLED AT TIME OF CONSTRUCTION, BLOCKING FOR BOTH CONFIGURATIONS AT SIDE OF WATER CLOSET IS REQUIRED.

GRAB BAR INSTALLATION SPECIFICATION

1. BESIDE WATER CLOSET

OPTION 1  
L-SHAPED GRAB BAR WITH 160mm LONG HORIZ. AND VERT. COMPONENTS MOUNTED W/ HORIZ. COMPONENT 150mm TO 400mm A.F.F. AND THE VERTICAL COMPONENT 150mm IN FRONT OF TOILET BOWL.

OPTION 2  
MIN. 160mm LONG GRAB BAR MOUNTED AT A 50° TO 50° ANGLE SLOPING UPWARDS AWAY FROM WATER CLOSET W/ LOWER END OF BAR MOUNTED 150mm TO 400mm A.F.F. AND 50mm IN FRONT OF TOILET BOWL.

2. BEHIND WATER CLOSET

MIN. 600mm LONG GRAB BAR MOUNTED HORIZONTALLY ON WALL 840mm TO 920mm ABOVE THE FLOOR AND 150mm ABOVE THE WATER TANK IF APPLICABLE.

3. BEHIND BATHTUB OR SHOWER

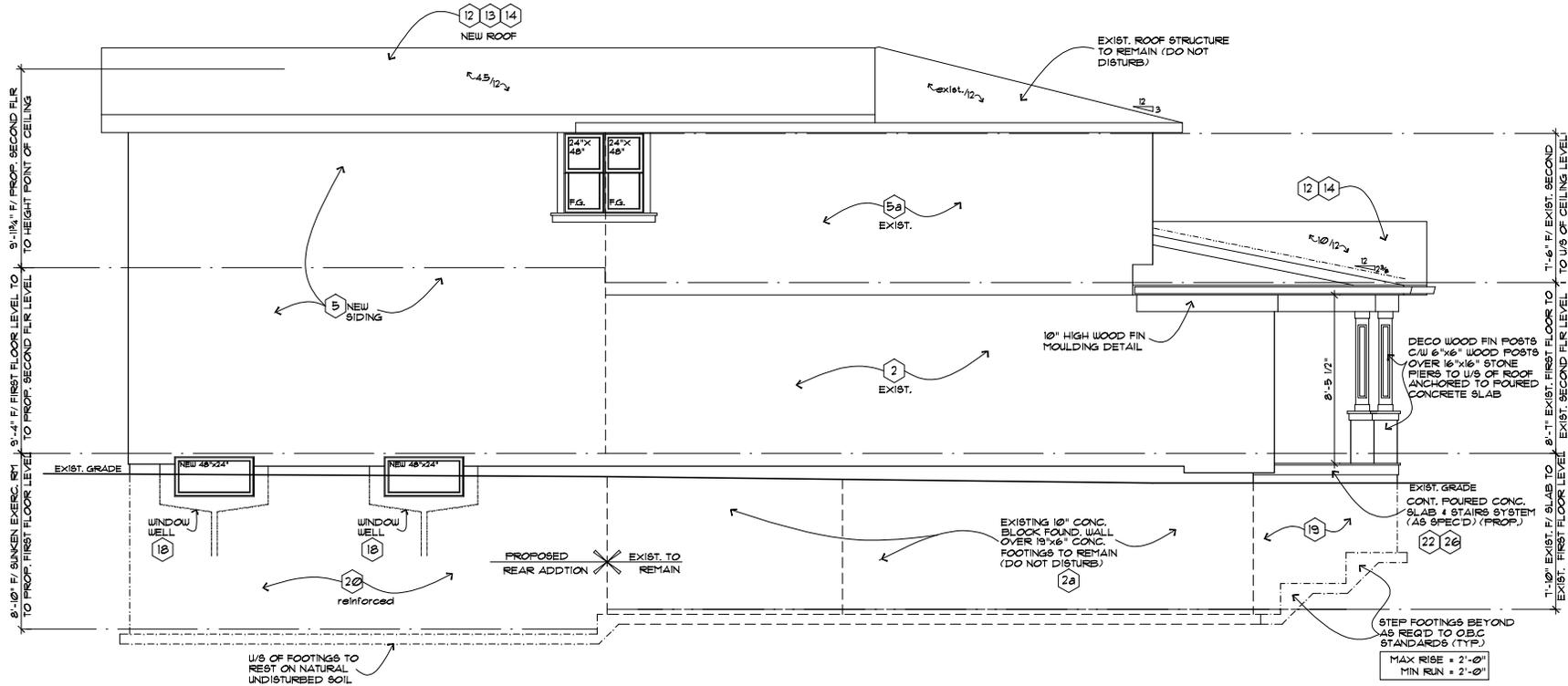
MIN. 900mm LONG GRAB BAR MOUNTED HORIZONTALLY ON WALL APPROXIMATELY 850mm ABOVE FINISHED FLOOR. LOCATE OPPOSITE SHOWER ENTRANCE SO THAT NOT LESS THAN 300mm OF ITS LENGTH IS AT ONE SIDE OF THE SEAT.

3a - BEHIND SHOWERS

L-SHAPED GRAB BAR PER OPTION 1 BESIDE WATER CLOSET MOUNTED NOT MORE THAN 850mm ABOVE THE FINISHED FLOOR AND LOCATED THE END OF THE HORIZONTAL COMPONENT IS WITHIN 100mm FROM THE EDGE OF THE SHOWER SEAT

4. GRAB BAR ATTACHMENT

GRAB BAR MUST BE ATTACHED WITH SCREENS WHICH PENETRATE AT LEAST 52mm INTO THE SOLID BLOCKING.



LEFT SIDE ELEVATION



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NAME SIGNATURE DATE 3/4/2020 BCN

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FRONT PORCH EXTENSION  
2-STORY REAR ADDITION  
MINOR INTERIOR ALTERATIONS  
34 SHADY LANE  
MARKHAM, ONTARIO

LEFT SIDE ELEVATION

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JUNE 2020	1/4" = 1'-0"	A-7