

# Memorandum to the City of Markham Committee of Adjustment

July 23, 2020

**File:** A/074/20  
**Address:** 264 Riverlands Ave – Markham, ON  
**Applicant:** Rishi & Fion Madan  
**Agent:** Vin Engineering Inc.  
**Hearing Date:** Wednesday July 29, 2020

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the Residential Two Exception Zone (R2\*190\*465) requirements of By-law 177-96, as amended, as they relate to a proposed coach house addition on top of an existing detached garage. The applicant is requesting the following variances, to permit:

**a) Section 6.3.1.2:**

a detached private garage and any storey above the first storey of a detached private garage to be setback 4.72 m (15.49 ft) from the main building, whereas the By-law requires a minimum of 6.0 m (19.69 ft); and

**b) Section 6.3.1.7 b):**

a maximum lot coverage of 18.60%, whereas the By-law permits a maximum of 18.0% for a detached private garage on a lot with a frontage less than 9.75 m (31.99 ft).

## BACKGROUND

### Property Description

The 283.20 m<sup>2</sup> (3,048.34 ft<sup>2</sup>) subject property is located on the north side of Riverlands Avenue, east of Cornell Centre Boulevard, west of Bur Oak Avenue, and south of Cornell Park Avenue. There is an existing two-storey single detached dwelling on the subject property and a one-storey detached garage in the rear yard which is accessed by a rear public laneway. The detached garage shares a common wall with the abutting garage to the east at 266 Riverlands Avenue.

The property is located within an established residential neighbourhood comprised of a mix of low rise housing forms including two-storey single detached, semi-detached, and townhouse dwellings. The surrounding context comprises a lane-based community, in which vehicular access and parking is provided via rear lanes to detached or attached garages. There are examples of coach houses located above detached private garages in the surrounding area.

### Proposal

The applicant is proposing to construct a coach house above the existing one-storey detached garage on the subject property. The stairs which provide access to the coach house are located within the required setback between the existing main dwelling and detached garage which necessitates the variances as they relate to a reduced minimum setback and increased maximum lot coverage. The existing detached garage is being expanded to accommodate the proposed stairs internally, therefore reducing the required setback between the main house and detached garage and increasing the lot coverage.

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)  
The 2014 Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms, permitting a coach house above a lane based garage.

#### Zoning By-Law 177-96

The subject property is zoned Residential Two Exceptions 190 and 465 (R2\*190\*465) under By-law 177-96, as amended, which permits various low rise housing forms, including single detached dwellings. Exception 190 also permits one accessory dwelling unit above a detached private garage. The proposed development does not comply with the minimum setback from the main building, and maximum lot coverage.

#### **Zoning Preliminary Review (ZPR) Undertaken**

The applicant completed a ZPR on May 5, 2020 to confirm the variances required for the proposed development.

#### **COMMENTS**

*The Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

#### **Reduction in Setback from Main Building**

The applicant is requesting a minimum setback of 4.72 m (15.49 ft) from the main building to the detached private garage, whereas the By-law requires a minimum setback of 6.0 m (19.69 ft). This is a reduction of approximately 1.28 m (4.20 ft). The requested variance is attributable to the garage expansion into the required setback to accommodate stairs accessing the proposed second-storey coach house. Coach houses on top of garages along laneways are permitted by the By-law, and are generally encouraged by the Official Plan in appropriate locations.

Staff are of the opinion that while the requested variance would result in a reduced amenity space in the rear yard, there is a variation of existing setbacks between homes and garages and amenity areas provided along the laneway. These built forms include both attached garages that are setback from the rear lot line, and detached garages with setbacks from the main building that are less than 6.0 m (19.69 ft) according to the City of Markham’s Geologic records. Staff note that approval of the requested variance would result in a setback that is smaller than other setback reductions approved in the area. However, the approval of this variance would allow for the construction of the proposed coach house which is desirable by the City and the Province, in promoting affordable housing.

#### **Increase in Maximum Lot Coverage**

The applicant is requesting a maximum lot coverage of 18.60%, whereas the By-law permits a maximum lot coverage of 18.0% for a detached private garage on lots with frontages less than 9.75 m (31.99 ft). The subject property has a frontage of 8.85 m (29.04 ft). This is an increase of 0.60% or approximately 1.70 m<sup>2</sup> (18.30 ft<sup>2</sup>) in lot coverage. Staff

are of the opinion that the proposed increase in lot coverage will not significantly add to the scale and massing of the dwelling and do not object to this variance.

**PUBLIC INPUT SUMMARY**

No written submissions were received as of July 23, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning staff have reviewed the application and have no objection, and recommend that Committee satisfy themselves that the variance application meets the four tests under Section 45(1) of *the Planning Act*. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the By-law, and how they satisfy the tests of *the Planning Act* required for the granting of minor variances.

Please see Appendix “A” for conditions to be attached to any approval of this application.

**APPENDICES**

Appendix “A” – Conditions of Approval

Appendix “B” – Plans

PREPARED BY:



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Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



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Stacia Muradali, Acting Development Manager, East District

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/074/20**

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the batch stamped plans attached as Appendix "B" to this Staff Report and received by the City of Markham on July 14, 2020, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'Aleks Todorovski', is written over a horizontal line.

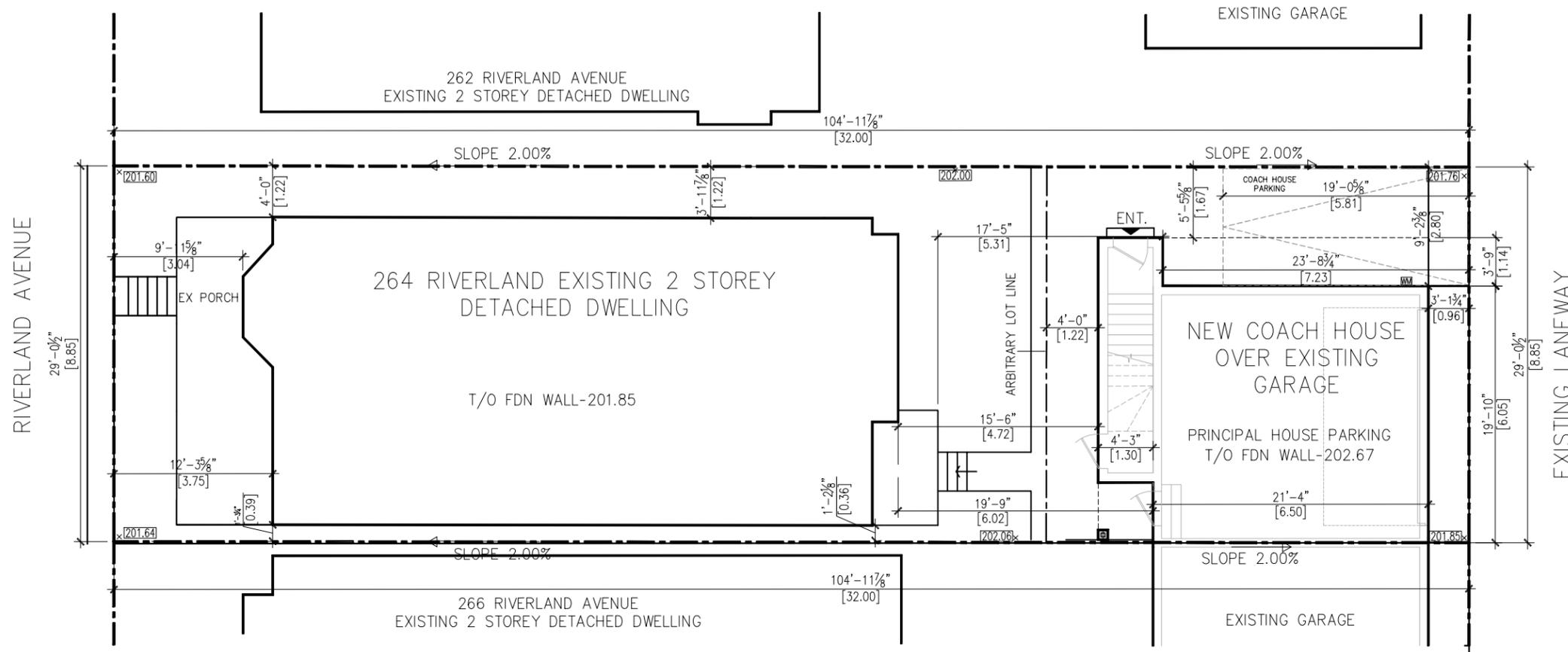
Aleks Todorovski, Planner, Zoning and Special Projects

**APPENDIX "B"**  
**PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/074/20**

# Appendix B

File: 20.118471.000.00.MNV

Date: 07/27/20  
MM/DD/YY



## SITE PLAN

DESIGN CONSULTANTS	ENGINEERING CONSULTANTS
	<b>VIN ENGINEERING INC.</b> SUNILS@VINGCINC.COM 416.270.3933

### ZONING INFORMATION:

264 RIVERLANDS AVENUE IS ZONED R2\*190\*465 UNDER BY-LAW 177-96 AS AMENDED. THE PROPOSED USE OF COACH HOUSE IS PERMITTED UNDER SECTION 7 : EXCEPTIONS.

IN ADDITIONAL PERMITTED USE (7.5.1), ONE ACCESSORY DWELLING UNIT IS PERMITTED ON A LOT PROVIDED THAT

- IT IS ACCESSORY TO SINGLE DETACHED, SEMI DETACHED OR TOWNHOUSE DWELLING UNIT ON THE SAME LOT,
- IT IS LOCATED ABOVE A PRIVATE GARAGE IN EITHER THE MAIN BUILDING OR AN ACCESSORY BUILDING ON THE SAME LOT, EXCEPTING THAT STAIRWAY PROVIDING ACCESS TO THE ACCESSORY DWELLING UNIT MAY EXTEND DOWN TO GRADE; AND,
- THE REQUIRED PARKING SPACE IS INDEPENDENTLY ACCESSIBLE FROM THE PARKING SPACES OF THE MAIN DWELLING UNIT ON THE LOT.

(ALL THE ABOVE CONDITIONS ARE MET IN THE PROPOSAL.)

### SITE STATISTICS:

LOT AREA : 283.20 SM  
LOT FRONTAGE : 8.85 M

PRINCIPAL HOUSE (GFA)  
LEVEL 1 : 121.64 SM  
LEVEL 2 : 106.77 SM  
TOTAL : 228.41 SM

COACH HOUSE  
LOT AREA : 283.2 SM  
COACH HOUSE  
FOOTPRINT : 56.052 SM  
STAIRCASE AREA : 3.427 SM

LOT COVERAGE (%)  
PRINCIPAL HOUSE : 42.95 %  
COACH HOUSE : 18.6 %  
TOTAL : 65.46 %

1	APRIL 03, 2020	ISSUED FOR BUILDING PERMIT
No	Date	Revisions
<b>DRAWN BY :</b>		<b>DATE :</b> APRIL 03, 2020
<b>CHECKED BY :</b>		<b>SCALE :</b> 3/16" = 1'-0"



PROJECT:

**PROPOSED COACH HOUSE**  
264 Riverlands AVE  
MARKHAM ON L6B 0W2



DRAWING TITLE :	<b>A-01</b>
<b>SITE PLAN</b>	

**GENERAL NOTES:**

(UNLESS OTHERWISE NOTED )

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE (REGULATION 3321/12 AS AMENDED, EFFECTIVE 2014) MUNICIPAL BY-LAWS PLANS AND SPECIFICATIONS.
2. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH RELATED WORK.
3. THE CONTRACTOR SHALL GET ALL PROPOSED FINISH MATERIALS APPROVED BY THE OWNER IN WRITING PRIOR TO USE.
4. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND ANY OTHER DOCUMENTATION REQUIRED FOR APPROVAL BY OWNER/OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH RELATED CONSTRUCTION.
5. MAINTAIN ALL EXISTING CONDITIONS WHICH ARE DESIGNATED TO REMAIN AND PROVIDE THE NECESSARY PROTECTION DUE TO CONSTRUCTION OR INCIDENT WEATHER DURING CONSTRUCTION.
6. CONTRACTOR SHALL REFER TO THE NOTES ON MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS.
7. CONTRACTOR SHALL READ ARCHITECTURAL DRAWINGS AND SPECIFICATIONS IN CONJUNCTION WITH ALL STRUCTURAL MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. IN CASE OF ANY DISCREPANCIES REPORT TO OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE CONSTRUCTION WORK.

**01 SITE WORK**

1. RAIN WATER LEADERS TO BE BROUGHT DOWN TO GRADE AND EXTENDED HORIZONTALLY 1200MM MINIMUM TO 400 x 400 x 50 THICK PRECAST CONCRETE SPLASH PADS AT EACH LOCATION. SPLASH PADS SET TO DRAIN AWAY FROM FOUNDATION. ALTERNATELY DRAIN ALL RAIN WATER LEADERS TO APPROVED DRY WELL AS INSTRUCTED BY AUTHORITIES HAVING JURISDICTION.
2. PROTECT ALL EXISTING TREES AND SHRUBS WITH SOLID HOarding SPACED AROUND ENTIRE TREE TRUNK. DO NOT CUT TRIM OR PRUNE ANY PLANTS LOCATED ON MUNICIPAL PROPERTY EXCEPT AS DIRECTED IN WRITING BY AUTHORITIES HAVING JURISDICTION.

**02 EXCAVATION AND BACKFILLING AND LOT GRADING**

1. EXCAVATION TO BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.
2. TOPSOIL AND ORGANIC MATERIAL IN AREAS UNDER PROPOSED CONSTRUCTION AND SHALL BE REPLACED WITH APPROVED GRANULAR MATERIAL OR PRE ENGINEERED FILL.
3. REFER TO STRUCTURAL DRAWINGS NOTES FOR FURTHER NOTES ON EXCAVATION AND BACKFILLING.
4. THE LOT GRADING SHALL BE AS PER THE LEVELS SHOWN ON THE SITE PLAN DRAWING, ENSURING DRAINAGE OF THE SITE. SODDING AND PAVING TO BE AS PER SITE PLAN.

**03 DAMP PROOFING AND DRAINAGE**

1. ALL EXTERIOR SURFACES OF ALL EXTERIOR WALL ENCLOSING OCCUPIED SPACE AND CRAWL SPACES TO BE DAMP PROOFED.
2. MASONRY FOUNDATION WALLS TO BE PARGED WITH 6MM CEMENT MORTAR AND BEVELED OVER TOP OF FOOTINGS.
3. PROVIDE 100MM DIAMETER WEEPING TILE OF PERFORATED PLASTIC COVERED C/W SEDIMENT SLEEVE. LAY WEEPERS LEVEL AND FLAT ON UNDISTURBED SOIL MATCHING ELEVATION OF EXISTING WEEPING TILE ADJACENT TO EXISTING OR NEW FOOTINGS. CONNECT NEW WEEPING TILE TO EXISTING WITH TRANSITION SLEEVES.
4. WEEPERS TO BE COVERED WITH MINIMUM DEPTH OF 300MM WITH 19MM CLEAR CRUSHED LIMESTONES.
5. SITE GRADING TO SLOPE AWAY FROM BUILDING AND NOT ADVERSELY AFFECT ADJACENT PROPERTIES. ALL ADJACENT DRAINAGE PATTERNS TO AND FROM OTHER PROPERTIES TO BE MAINTAINED.

**04 FOOTING AND FOUNDATIONS**

1. ALL FOOTINGS AND FOUNDATIONS SHALL BE AS PER STRUCTURAL DRAWINGS AND NOTES.
2. DAMP PROOFING OF 2 COATS BITUMINOUS EMULSION SHALL BE APPLIED TO EXTERIOR OF ALL FOUNDATIONS WALLS BELOW GRADE. DAMP PROOFING TO EXTEND MINIMUM 150MM ABOVE FINISHED GRADE.
3. A DRAINAGE LAYER CONSISTING OF 19MM THICK HIGH DENSITY MINERAL FIBER INSULATION SHALL BE PLACED ON EXTERIOR FACE OF FOUNDATION WALLS EXTENDING FROM TOP OF FOOTINGS TO 150MM ABOVE FINISHED GRADE.
4. CONCRETE SLABS ON GRADE TO BE PLACE ON MINIMUM 150MM GRANULAR BASE COMPECTED TO 95% MODIFIED PROCTER DENSITY AND SET ON UNDISTURBED SOIL WITH COMPRESIVE STRENGTH OF 120Pa.
5. INSIDE FACE OF CONCRETE FOUNDATION WALLS TO BE COVERED WITH #15 BITUMINOUS IMPREGNATED PAPER WHERE IN CONTACT WITH WOOD FRAMING MEMBERS.

**05 WOOD FRAME CONSTRUCTION**

1. ALL LUMBER TO BE NO 1 STRUCTURAL AND IDENTIFIED AS SUCH WITH APPROVING BODY STAMP. ALL PRE-ENGINEERED MEMBERS TO BE APPROVED BY A CERTIFIED PROFESSIONAL ENGINEER.
2. MOISTURE CONTENT FOR IN FRAMING MAXIMUM 19%.
3. WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY TO BE SET ON 6 MIL POLYVINYL BARRIER.
4. ALL EXTERIOR WOOD FRAMING SHALL BE AS SHOWN ON THE DRAWINGS, AND TO A MINIMUM OF 13MM PLYWOOD/DENSGLOSS GOLD SHEATHING ON 38x140MM STUD WALLS AT 400 C/C.
5. ALL INTERIORS STUD WALLS TO BE AS SHOWN ON THE DRAWINGS, AND TO A MINIMUM OF 13MM GYPSUM WALL BOARD ON BOTH SIDE OF 38x89MM WOOD STUDS AT 400MM O.C. UNLESS OTHERWISE NOTED.
6. PROVIDE CONTINUOUS 38MM BOTTOM PLATE AND DOUBLE TOP PLATE, 2x38MM, AT ALL STUD WALL CONSTRUCTION.
7. ALL FLOOR JOIST SPACED AS IDENTIFIED ON DRAWINGS AND HAVE 40MM END BEARING.
8. JOIST TO NAILED TO CONTINUOUS SILL PLATE SET TO FOUNDATION WITH 13MM DIA. GALVANIZED 150MM LONG THREADED ANCHOR BOLTS FIXED WITH 38MM WASHER AND NUT AT 125MM SPACING.
9. DOUBLE ALL HEADER AND TRIMMER JOIST.
10. DOUBLE ALL JOIST UNDER NON-LOAD BEARING WALLS.
11. PROVIDE 25x25 CROSS BRACING AT 125MM C/C BETWEEN ALL CONVENTIONAL WOOD JOIST.
12. ALL CONVENTIONAL HIP AND VALLEY RAFTERS TO BE 38MM DEEPER THAN SUPPORTED RAFTER DEPTHS.
13. PROVIDE 38 X 64 COLLAR TIES TOGETHER.
14. ALL ROOF SHEATHING TO BE MINIMUM 13MM THICK WITH-CLIPS AT 305MM SPACING ON UNSUPPORTED EDGES.
15. HOLES REQUIRED IN JOIST TO BE PLACED ALONG THE MIDDLE OF JOIST DEPTH AND NO GREATER THAN 1/4 THE JOISTDEPTH IN SIZE. NO NOTCHES OF HOLES TO BE MADE IN JOIST WITHIN 400MM OF JOIST ENDS.
16. HOLES IN STUD WALLS TO BE NO GREATER THAN 38MM PLACED IN CENTRE OF STUD.
17. ENGINEERED ROOF TRUSSES AND OTHER MEMBERS CAN BE CUT, DRILLED ON NOTCHES ONLY AS DIRECTED BY THE PROFESSIONAL ENGINEER THAT CERTIFIED SUCH TRUSSES.
18. ROOFING SHEATHING TO BE FASTENED WITH APPROVED ROOFING NAILS 38MM DEEP AT 305MM O.C. AND AT 150MM O.C. ON LONG EDGES.

**06 THERMAL AND MOISTURE PROTECTION**

1. ALL ASPHALT SHINGLES TO BE MINIMUM 240# WEIGHT / 32 SFT.
2. ALL ROOF SHINGLES TO BE FASTENED WITH MINIMUM 4 3/4" ROOFING NAILSPER SHINGLE.
3. EVAES PROTECTION COMMENCING ALONG EVAES THROUGH CONSISTING OF TYPE M OR ROLL ROOFING SHALL EXTEND A MINIMUM OF 900MM UP ROOF FROM INSIDE FACE OF EXTERIOR WALLS. EVAES PROTECTION SHALL BE LAID WITH A MINIMUM 100MM HEAD AND END LAPS CEMENTED TOGETHER WITH APPROVED SEALANT OR USE OF SELF SEALING COMPOSITE SHEATHING.
4. VALLEYS TO BE PROVIDED TWO LAYERS OF APPROVED ROOFING PAPER AND VLLEY FLASHING TO BE MINIMUM 610MM WIDE PRE-FINISHED SHEET METAL.
5. PROVIDE PRE-FINISHED STEP FLASHING AND COUNTER FLASHING AT INTERSECTION OF SHINGLED ROOFS WITH VERTICAL WALLS, MASONRY OR OTHERWISE.
6. SHEET METAL FLASHING SHALL CONSIST OF 12GA PRE-FINISHED METAL FLASHING OR 2 OZ COPPER FABRIC FLASHING WHERE NOT EXPOSED.
7. ENERGY EFFICIENCY OF DWELLING AS PER ZONE1, OBC MINIMUM THERMAL PERFORMANCE REQUIREMENTS FOR HEATING EQUIPMENT WITH AFUE OF 90% MINIMUM.
8. MINIMUM THERMAL INSULATION LEVELS FOR THERMAL INSULATION OF ENVELOPS AS PER COMPLIANCE PACKAGE - TABLE 3.1.1.2.A (AS) OF SB-12 AND AS FOLLOWS.
  - CEILING WITH ATTICS R60
  - CEILING WITHOUT ATTICS R31
  - EXTERIOR WALLS R22
  - EXPOSED FLOOR R31
  - WINDOWS AND GLASS DOOR U-VALUE 0.28(ENERGY RATING 25)
  - SPACE HEATING EQUIPMENT MIN. AUE 96%
  - HEAT RECOVERY VENTILATOR MIN. SRE 75%
  - DOMESTIC WATER HEATER MIN. EF 95%
9. ALL INSULATION TO BE PROTECTED WITH MINIMUM 13MM THICK GYPSUM WALL BOARD.
10. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIR TIGHT WITH DUCT TAPE AND/OR SEALANT.
11. CAULK ALL EXTERIOR WALLS AT FRAMES OF DOORS, WINDOWS, EQUIPMENT OPENINGS, VENTS, LOUVERS AND OUTLETS.
12. WEATHER STRIP ALL EXTERIOR DOORS, DOORS TO COLD SPACES, WINDOWS AND ATTIC ACCESS HATCH.
13. WALLS AND CEILING OF GARAGE SHALL BE CLAD WITH TWO LAYERS OF 13MM EXTERIOR GRADE PLYWOOD OR GYPSUM BOARD OR COMBINATION WITH EDGES OF OUTER LAYER LAPPED OVER INNER LAYER MINIMUM 300MM.
14. ALL JOINTS IN GYPSUM BOARD PROVIDING GAS PROOF SEAL BETWEEN AND DWELLING TO BE TAPED AND SEALED WITH 2 COATS OF GYPSUM BOARD COMPOUND.
15. ALL PENETRATIONS THROUGH GAS PROOFED WALLS SHALL BE CAULKED WITH APPROVED ACRYLIC BASED SEALANT.
16. DUCTS THAT PENETRATE AND ASSEMBLY REQUIRED TO BE FIRE SEPARATION WITH A FIRE-RESISTANCE RATING SHALL BE EQUIPPED WITH FIRE DAMPER IN CONFORMANCE WITH ARTICLES 3.1.8.4 AND 3.1.8.9.
17. PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE REQUIRE FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF SEPARATION.

**Appendix B**

File: 20.118471.000.00.MNV

Date: 07/27/20  
MM/DD/YY



DESIGN CONSULTANTS	ENGINEERING CONSULTANTS
<p><b>VIN ENGINEERING INC.</b> SUNILS@VINGCINC.COM 416.270.3933</p>	

1	APRIL 03, 2020	ISSUED FOR BUILDING PERMIT
No	Date	Revisions
DRAWN BY :		DATE : APRIL 03, 2020
CHECKED BY :		SCALE :

PROJECT:

**PROPOSED COACH HOUSE**  
264 Riverlands AVE  
MARKHAM ON L6B 0W2

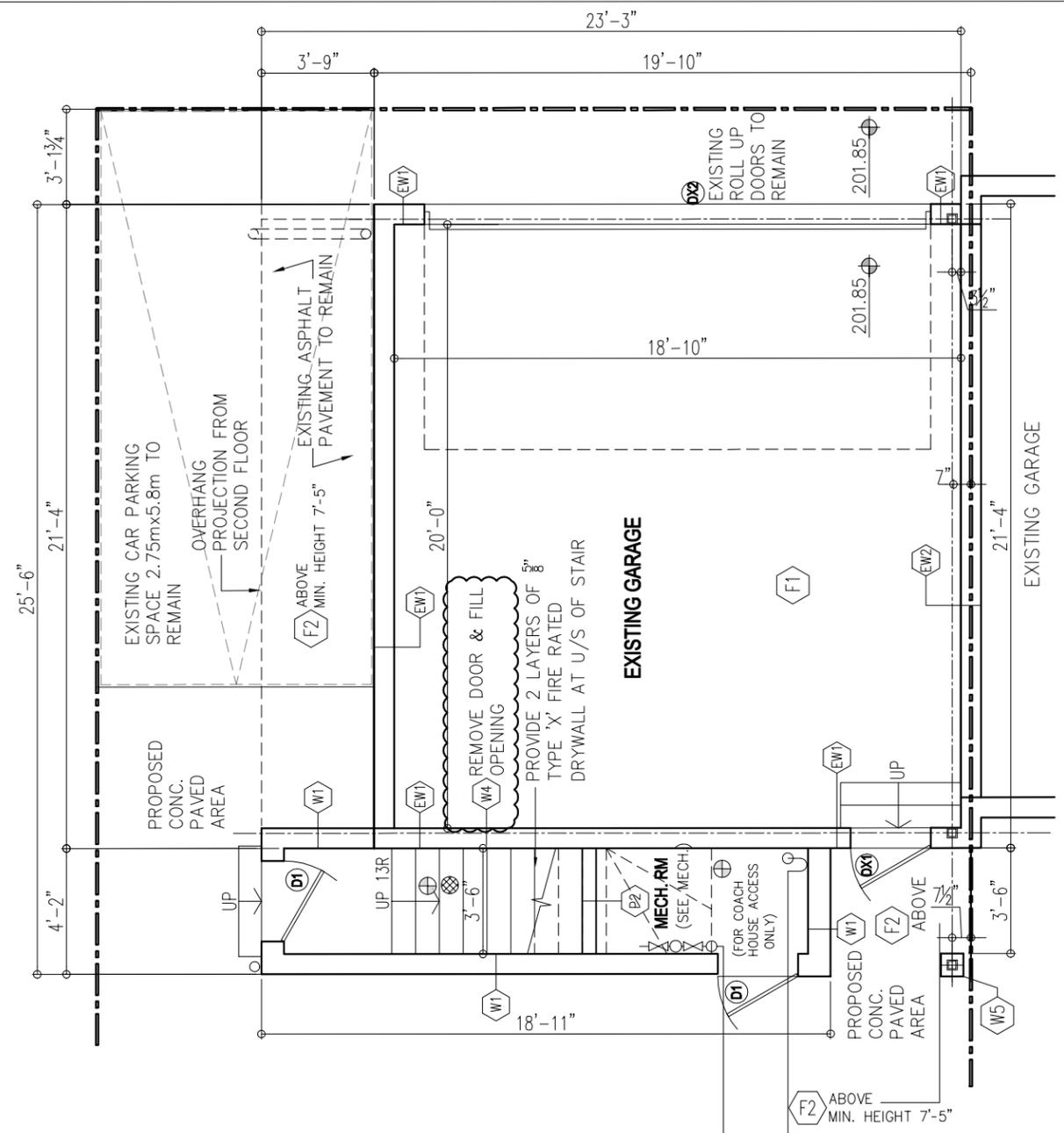


DRAWING TITLE :	<b>A-02</b>
<b>SCHEDULES &amp; NOTES</b>	

# Appendix B

File: 20.118471.000.00.MNV

Date: 07/27/20  
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## FIRST FLOOR PLAN

- SMOKE ALARM**  
INSTALL SMOKE ALARM IN EVERY DWELLING UNIT AND COMMON AREAS PER OBC 9.10.19. ENSURE THEY ARE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGN
- CARBON MONOXIDE DETECTOR**  
HARD WIRE CONNECTED CARBON MONOXIDE DETECTORAS PER CAN/CSA-6.19

EXTEND 3/4" DCW PIPE BELOW GRADE (BELOW FROST LEVEL) TO CONNECT TO EXISTING MAIN BUILDING DCW SERVICES ON NORTH SIDE OF THE BUILDING IN THE BASEMENT FLOOR C/W ISOLATION VALVE. VERIFY EXACT LOCATION OF THE EXISTING SERVICES AT SITE.

EXTEND 4" SANITARY PIPE BELOW GRADE MIN. 4'-0" TO CONNECT TO EXISTING MAIN BUILDING SANITARY PIPING LEAVING THE BUILDING ON FRONT SOUTH SIDE. VERIFY EXACT LOCATION OF THE EXISTING SANITARY PIPE INVERT AT SITE.

- NOTES:**
- EXISTING 2 CAR PARKING SPACE 2.75mx5.8m EACH TO REMAIN
  - EXISTING SLOPED CONCRETE FLOOR INSIDE THE GARAGE TO REMAIN
  - WALL & CEILING ASSEMBLIES SEPARATING GARAGE SPACE SERVING MAIN DWELLING UNIT AND UNIT ABOVE GARAGE SHALL BE MIN. 1 HR FRR AND 50 STC RATING
  - CONTRACTOR TO REMOVE ROOF TRUSS, ROOFING, EAVESTROUGH, ETC. UPTO THE PARTY WALL

DOOR SCHEDULE:		
DOOR	SIZE	TYPE
DX1	2'-8" x 6'-8"	EXISTING DOOR
DX2	16'-10" x 96"	EXISTING GARAGE DOOR
D1	2'-8" x 6'-8"	EXTERIOR INSULATED DOOR, MIN. R15
D2	2'-6" x 6'-8"	INTERIOR DOOR
D3	2'-2" x 6'-8"	INTERIOR DOOR
CD1	2'-8" x 6'-8"	INTERIOR CLOSET DOOR

## WALL AND FLOOR SCHEDULE:

**EW1** (FRR 45 MIN.)

EXISTING EXTERIOR WALL

- EXISTING BRICK VENEER, AIRSPACE, A/V BARRIER, 13MM PLYWOOD, 2x4 WOOD STUD @ 16" O.C.
- NEW 2x4 @ 16" O/C TO FORM 2 PLY
- 1/2" GYPSUM WALL BOARD

**W5**

- STRUCTURAL COLUMN (REFER TO STUCTURAL DWGS)
- STUD WELDED TO STEEL COLUMN
- 5/8" TYPE 'X' GYPSUM WALL BOARD
- DENSGLASS FIREGUARD SHEATHING
- COLUMN WRAP WITH PAINTED METAL FINISH

**EW2**

EXISTING PARTY WALL  
(WALL ASSEMBLY W1d FROM TABLE 2, SB-3:FRR 1 HR AND 32 STC)

- 5/8" TYPE 'X' GYPSUM WALL BOARD
- 2x6 WOOD STUDS @ 16" O.C. C/W R22/23 ROXUL
- 5/8" TYPE 'X' GYPSUM WALL BOARD

**W6**

- JAMES HARDLE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD)
- 1" THICK WOOD STRAPPING
- DRAINAGE LAYER, ADHESIVE
- CONTINUOUS TROWEL BASED AIR BARRIER
- 13MM DENSGLASS GOLD SHEATHING
- 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- 5/8" GYPSUM WALL BOARD

**W1**

- JAMES HARDLE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD)
- 1" THICK WOOD STRAPPING
- 1" POLYISO-CYANURATE INSULATION(R=5.6)
- DRAINAGE LAYER, ADHESIVE
- CONTINUOUS TROWEL BASED AIR BARRIER
- 13MM DENSGLASS GOLD SHEATHING
- 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- 1/2" GYPSUM WALL BOARD

**P1**

- 1/2" GYPSUM WALL BOARD
- 2x4 WOOD STUDS @ 16" O.C
- 1/2" GYPSUM WALL BOARD / 13MM DENSSHIELD TILE BACKER ON WASHROOM/KITCHEN SIDE

**W2**

- JAMES HARDLE PLANK FIBRE CEMENT SIDING (MAKE AND COLOUR TBD)
- 1" THICK WOOD STRAPPING
- DRAINAGE LAYER, ADHESIVE
- CONTINUOUS TROWEL BASED AIR BARRIER
- 16MM DENSGLASS GOLD SHEATHING
- 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- RESILIENT METAL CHANNEL @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM WALL BOARD

**P1A** **P1** BUT WITH 2x6 WOOD STUDS @ 16" O.C.

**P2**

(90 MIN. FIRE RATED WALL AS PER TABLE 2.3.4.A. AND 2.3.4.C OF SB-2 OF OBC)

- VOID
- 2x4 WOOD STUDS @ 16" O.C
- 2 LAYERS 1/2" TYPE 'X' GYPSUM WALL BOARD

**W3**

ADJACENT EW2 W/ 1" GAP  
W2 ABOVE

(WALL ASSEMBLY W5a FROM TABLE 2, SB-3:FRR 1HR AND 51 STC)

- 2 LAYERS OF 5/8" TYPE 'X' GYPSUM WALL BOARD
- 2x6 WOOD STUDS @ 16" O.C C/W R22/23 ROXUL COMFORT BATT INSULATION
- 6mil VAPOUR BARRIER, CONTINUOUS, OVERLAP JOINTS AND SEALED
- RESILIENT METAL CHANNEL @ 16" O.C.
- 5/8" TYPE 'X' GYPSUM WALL BOAR

**F1**

(FLOOR ASSEMBLY F9h FROM TABLE 2, SB-3:FRR 1 HR AND 55 STC)

- ONE SUBFLOOR LAYER OF 15.5MM PLYWOOD
- WOOD JOISTS/LVL AS PER STRUCTURAL DRAWINGS
- MINIMUM R31 ROCK OR SLAG INSULATION
- 6 MIL. CONT. AIR & VAPOUR BAREER ON THE WARM SIDE AS PER O.B.C. 9.10.9.16
- (1 1/2"x3 1/2") WOOD FRAMING HUNG FROM JOIST/LVL BY 1 1/2"x1 1/2" HANGERS - AT DUCTS & STRUCTURAL BEAMS)
- RESILIENT METAL CHANNELS @ 600 O.C.
- TWO LAYERS OF 12.7 TYPE 'X' GYPSUM WALL BOARD, PAINT FINISH

**W4**

(WALL ASSEMBLY W8A FROM TABLE 2, SB-3:FRR 1.5HR AND 52 STC)

- 5/8" TYPE 'X' GYPSUM WALL BOARD
- 2x4 WOOD STUD @ 600MM C/W R22/23 ROXUL COMFORT BAT INSULATION (STUD ON THE ENDS FASTENED TO THE EXISTING WALL)
- 1" CAVITY
- 2x4 WOOD STUD @ 600MM (STUD ON THE ENDS FASTENED TO THE EXISTING WALL)
- 2 LAYERS 5/8" TYPE 'X' GYPSUM WALL BOARD ON STAIR SIDE

(WALL THICKNESS TO MATCH EXISTING ADJACENT)

**F2**

(FLOOR ASSEMBLY F9h FROM TABLE 2, SB-3:FRR 1 HR AND 55 STC)

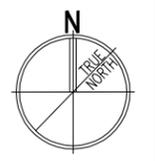
- ONE SUBFLOOR LAYER OF 15.5MM PLYWOOD
- WOOD JOISTS/LVL AS PER STRUCTURAL DRAWINGS
- MINIMUM R31 ROCK AND SLAG INSULATION
- 6 MIL. CONT. AIR & VAPOUR BAREER ON THE WARM SIDE AS PER O.B.C. 9.10.9.16
- RESILIENT METAL CHANNELS @ 600 O.C.
- TWO LAYERS OF 12.7 TYPE 'X' GYPSUM WALL BOARD, PAINT FINISH
- PAINTED METAL SOFFIT

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PROJECT:  
264 Riverlands AVE  
MARKHAM ON L6B 0W2

**PROPOSED COACH HOUSE**



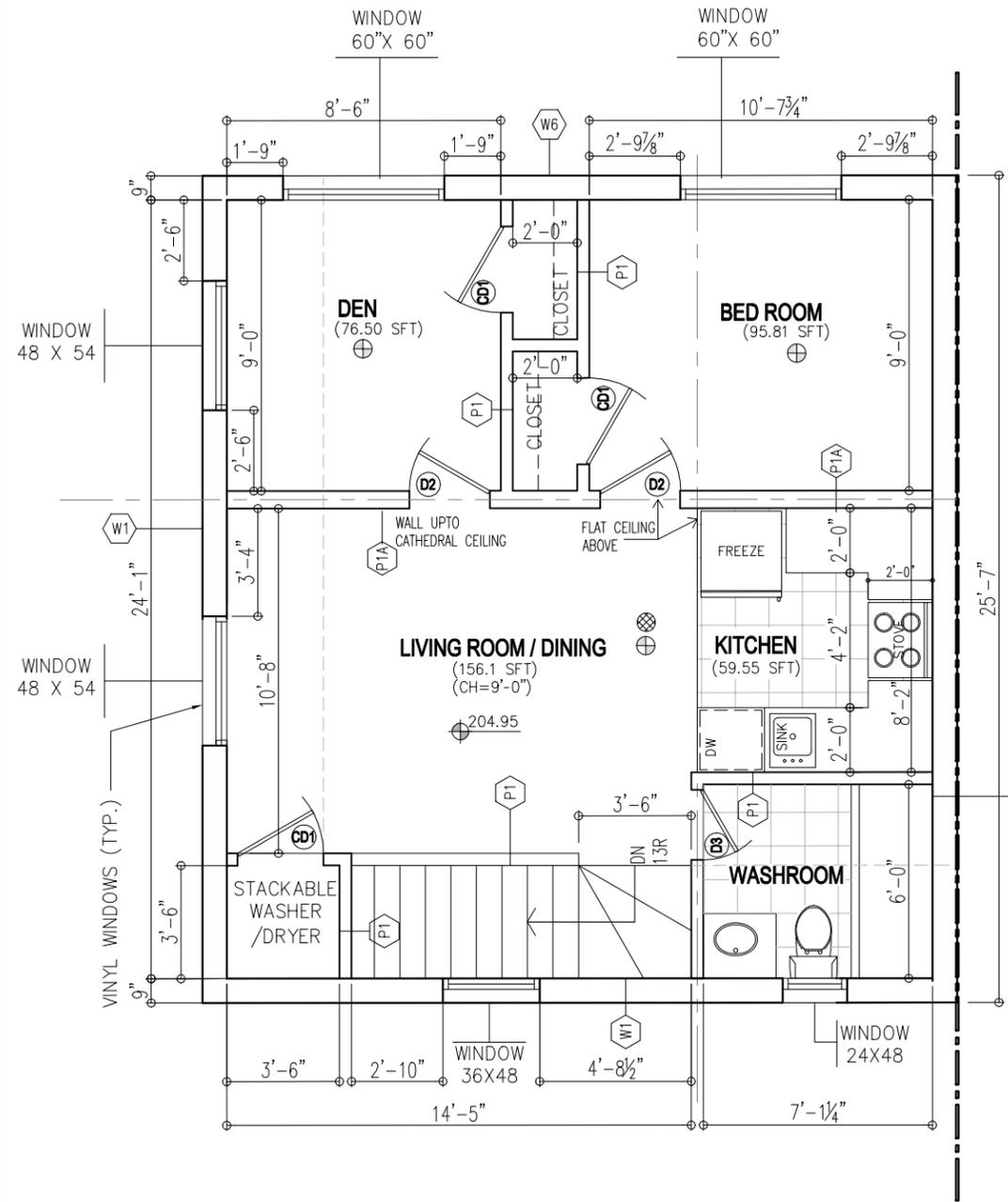
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**FIRST FLOOR PLAN**

**A-03**

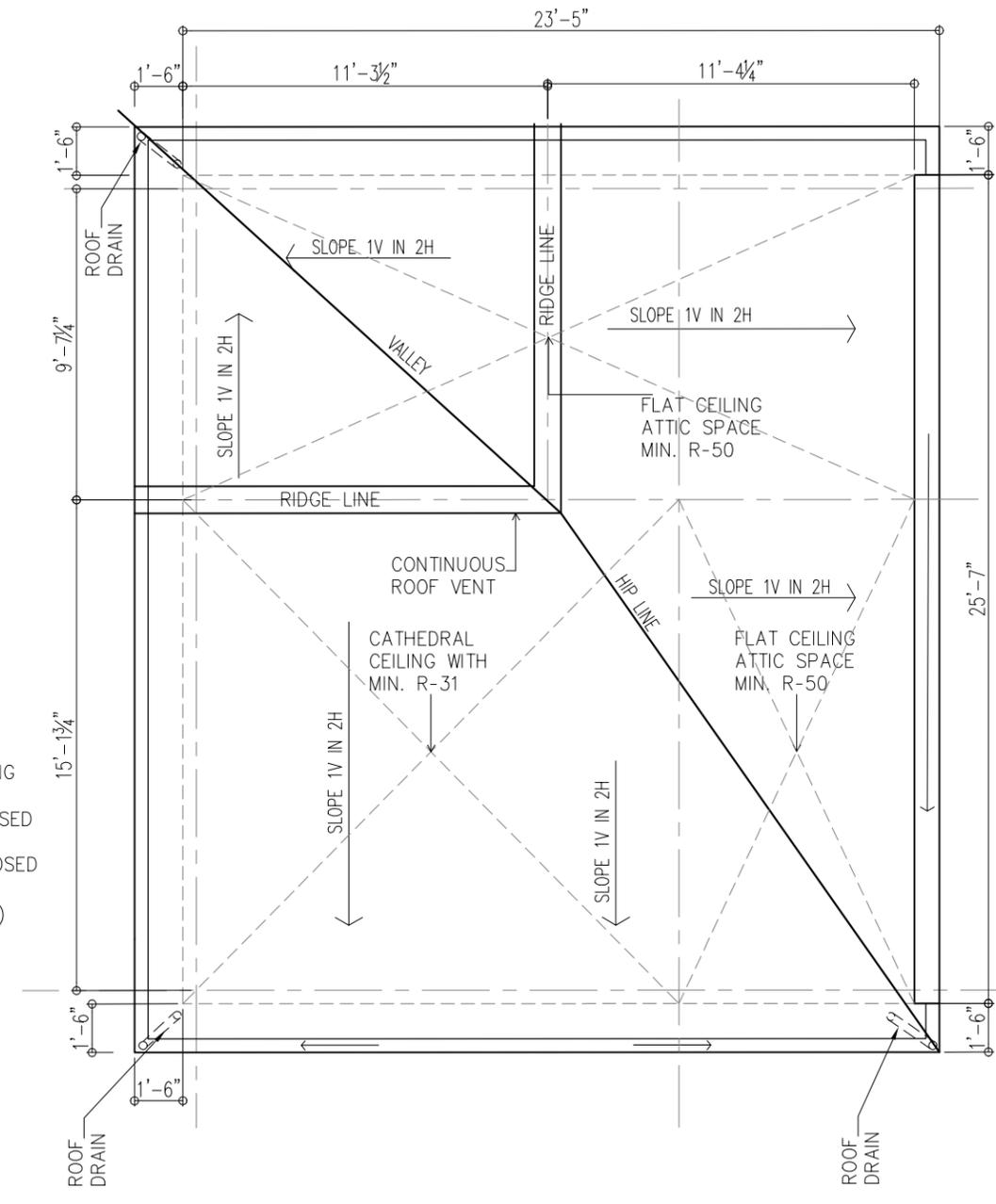
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## SECOND FLOOR PLAN



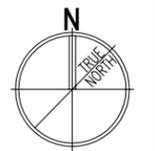
## ROOF PLAN

- EW2 INTERIOR EXISTING WALL
- W3 INTERIOR PROPOSED WALL
- W2 EXTERIOR PROPOSED WALL (ABOVE ADJACENT ROOF)

- ⊕ SMOKE ALARM  
INSTALL SMOKE ALARM IN EVERY DWELLING UNIT AND COMMON AREAS PER OBC 9.10.19. ENSURE THEY ARE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGN
- ⊗ CARBON MONOXIDE DETECTOR  
HARD WIRE CONNECTED CARBON MONOXIDE DETECTORAS PER CAN/CSA-6.19

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PROJECT: PROPOSED COACH HOUSE  
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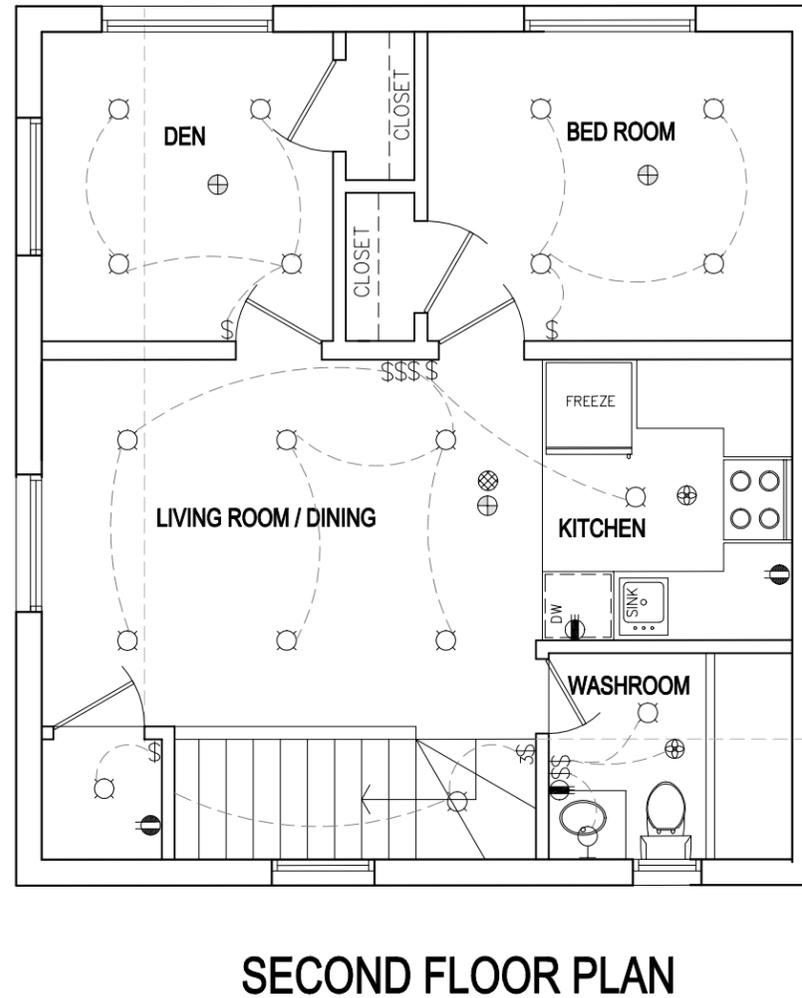
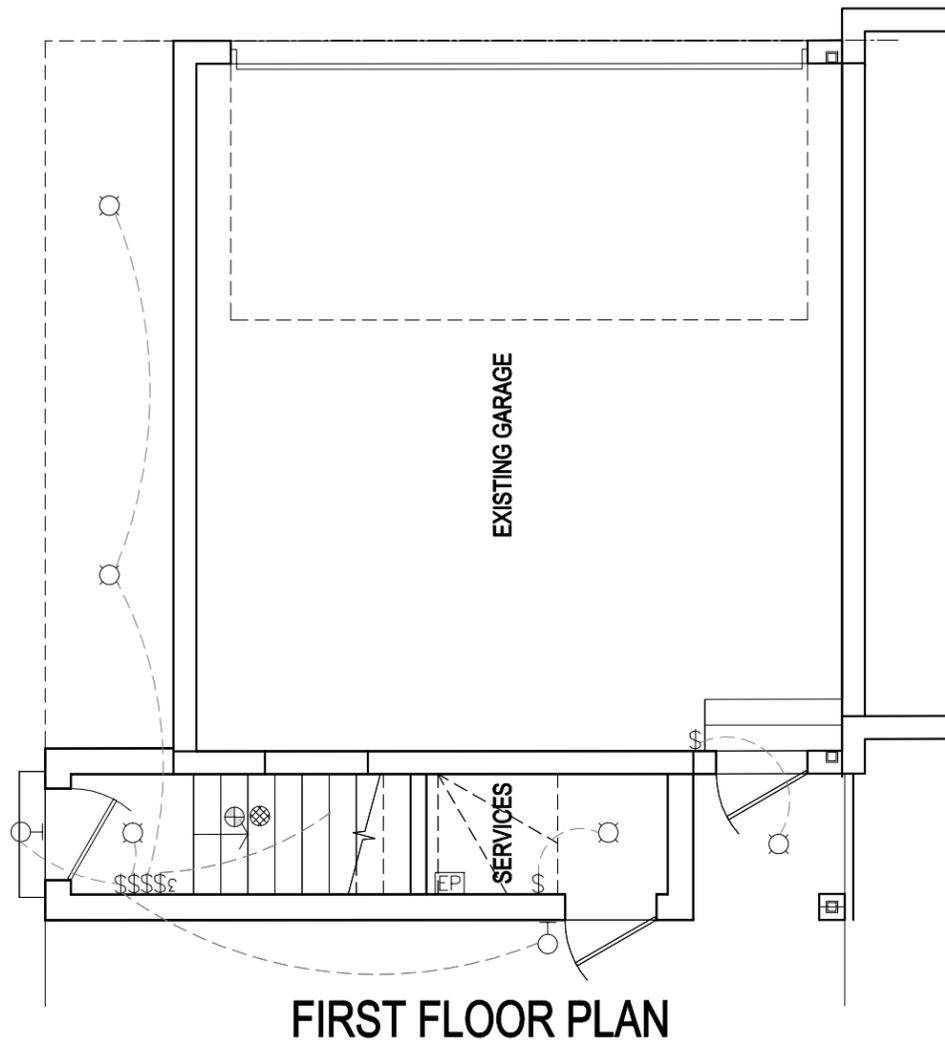
DRAWING TITLE : **SECOND FLOOR PLAN**

# A-04

# Appendix B

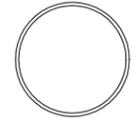
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PROJECT:  
**PROPOSED COACH HOUSE**  
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 MARKHAM ON L6B 0W2



DRAWING TITLE :  
**ELECTRICAL & FIRE SAFETY PLANS**

# A-05

## ELECTRICAL AND FIRE SAFETY

	EXHAUST FAN VENTED TO EXTERIOR		15A, 120V GFCI DUPLEX RECEPTACLE
	3 WAY CONTROL SWITCH		50A, 208V RECEPTACLE AT STOVE & DRIER
	CONTROL SWITCH		SMOKE ALARM INSTALL SMOKE ALARM IN EVERY DWELLING UNIT AND COMMON AREAS PER OBC 9.10.19. ENSURE THEY ARE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING AND HAVE A VISUAL SIGN
	CEILING LIGHT FIXTURE		CARBON MONOXIDE DETECTOR HARD WIRE CONNECTED CARBON MONOXIDE DETECTORAS PER CAN/CSA-6.19
	WALL MOUNTED LED LIGHT FIXTURE		

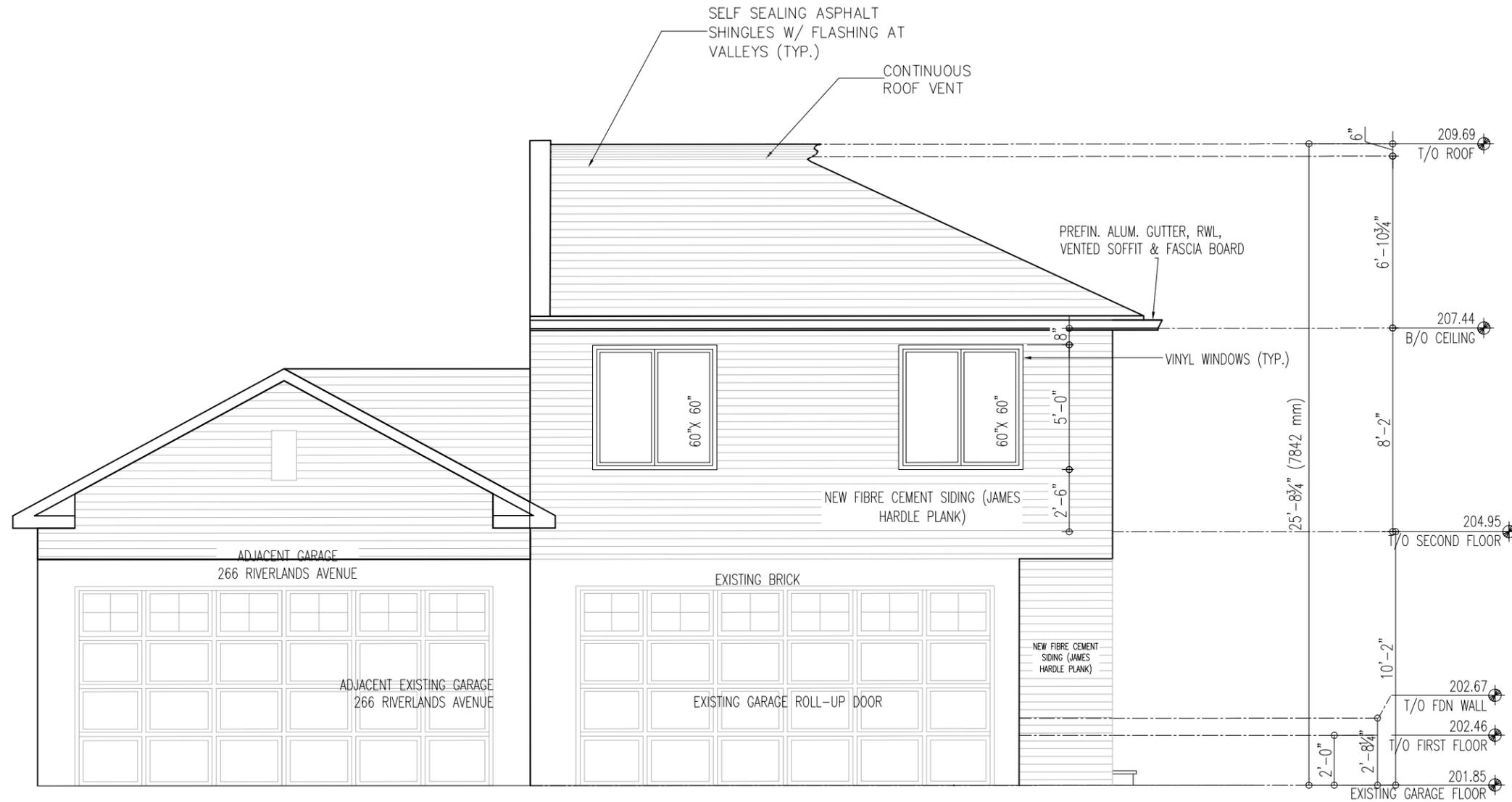
## NOTES:

- CONTRACTOR TO VERIFY EXISTING ELECTRICAL SERVICES BEFORE PRICING THIS CONTRACT.
- THE EXISTING IS 120/240V, 1PH, 3W SERVICE IN BASEMENT OF EXISTING MAIN HOUSE / DWELLING UNIT.
- THE NEW 120/240V 10, 3W 125AMP, 24 CIRCUIT PANEL TO BE INSTALLED UNDER STAIRCASE OF NEW COACH HOUSE ADDITION.
- CONTRACTOR TO PROVIDE 60A FEEDERS, DISCONNECT PANEL AS REQUIRED, UPGRADE EXISTING PANEL IF REQUIRED AS PER E.S.A.
- CONTRACTOR TO GET ALL CLEARANCE, APPROVALS AND PERMITS NEEDED FOR INSTALLATION AND CERTIFICATION OF APPROVAL AFTER THE INSTALLATION FROM E.S.A.

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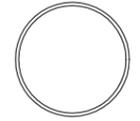


## NORTH ELEVATION

UNPROTECTED OPENING CALCULATION
FACING STREET

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PROJECT:  
**PROPOSED COACH HOUSE**  
264 Riverlands AVE  
MARKHAM ON L6B 0W2

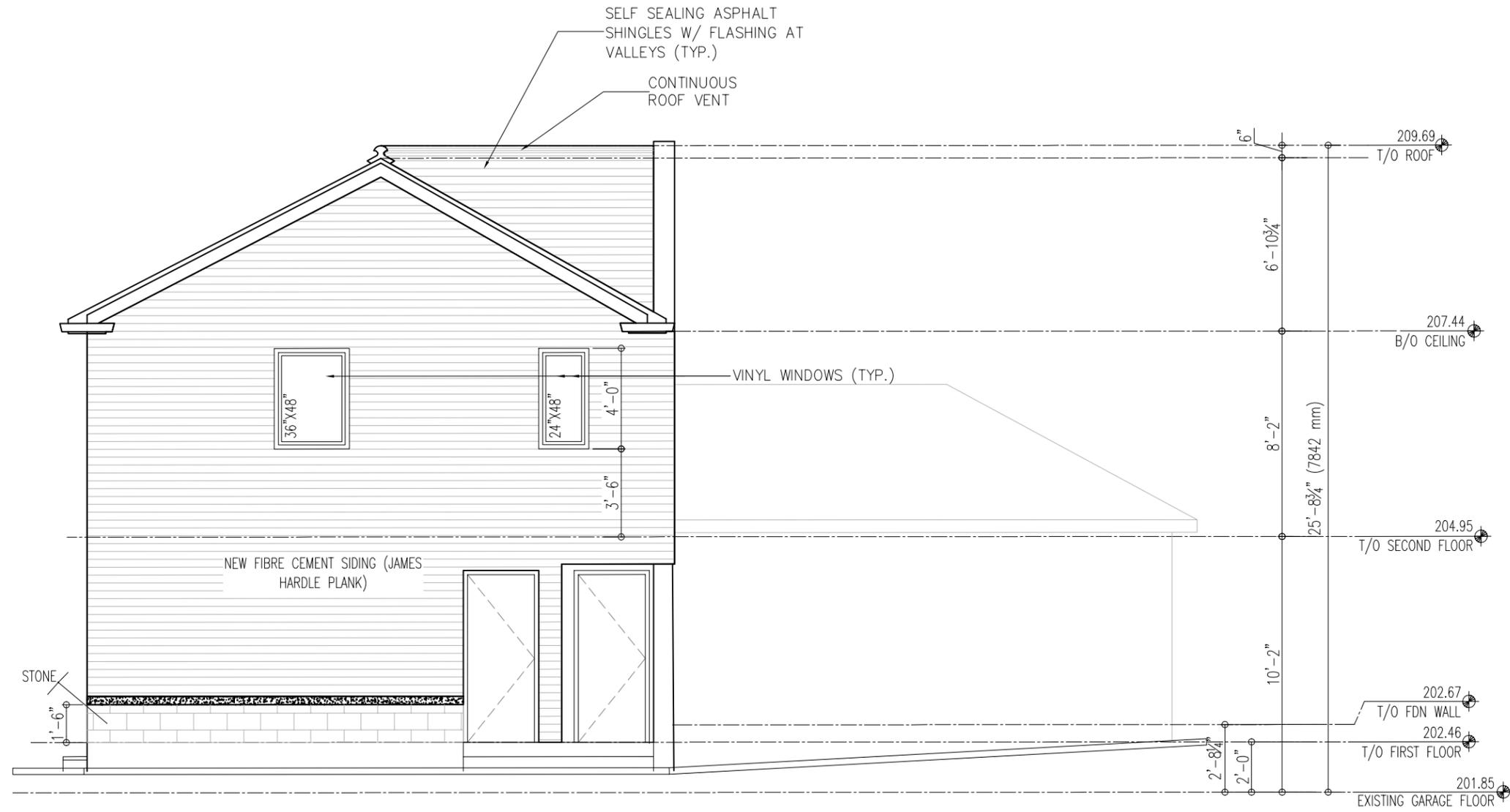


DRAWING TITLE :	<b>NORTH ELEVATION</b>
	<b>A-06</b>

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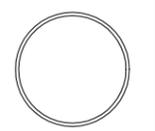
## SOUTH ELEVATION

### UNPROTECTED OPENING CALCULATION

LIMITING DISTANCE	: 1.20 M (4'-0")
WALL AREA	: 37.98 SM (408.87 SF)
OPENINGS ALLOWED	: 2.57 SM (7%)
OPENING PROPOSED	: 1.67 SM (18.0 SF) (4.4%)

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PROJECT:

**PROPOSED COACH HOUSE**  
264 Riverlands AVE  
MARKHAM ON L6B 0W2

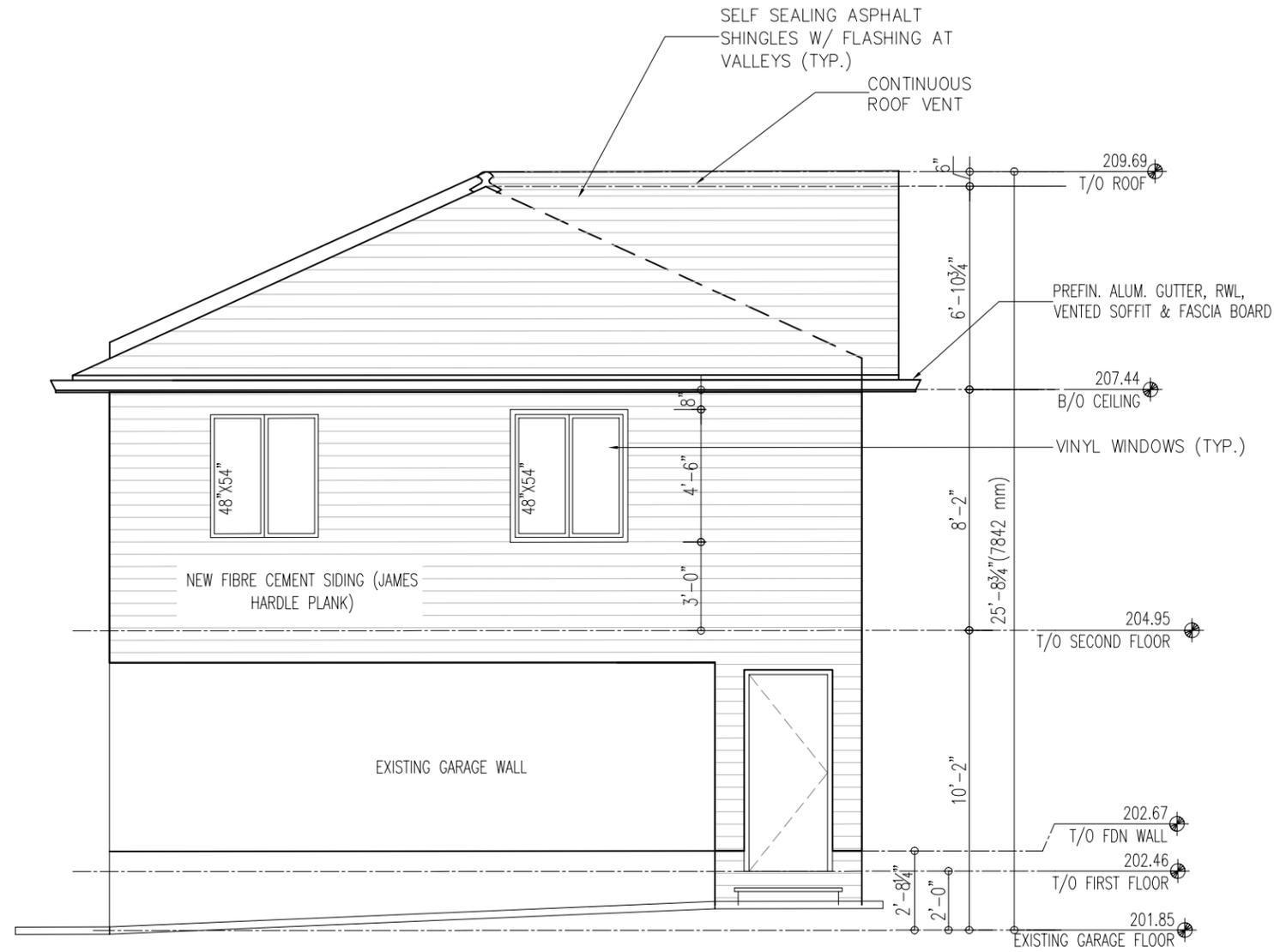


DRAWING TITLE :	<b>A-07</b>
<b>SOUTH ELEVATION</b>	

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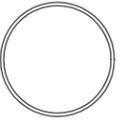
## WEST ELEVATION

### UNPROTECTED OPENING CALCULATION

LIMITING DISTANCE	: 1.67 M (5'-5 5/8")
WALL AREA	: 41.37 SM (445.29 SF)
OPENINGS ALLOWED	: 3.22 SM (8%)
OPENING PROPOSED	: 3.01SM (32.4 SF) (7.27%)

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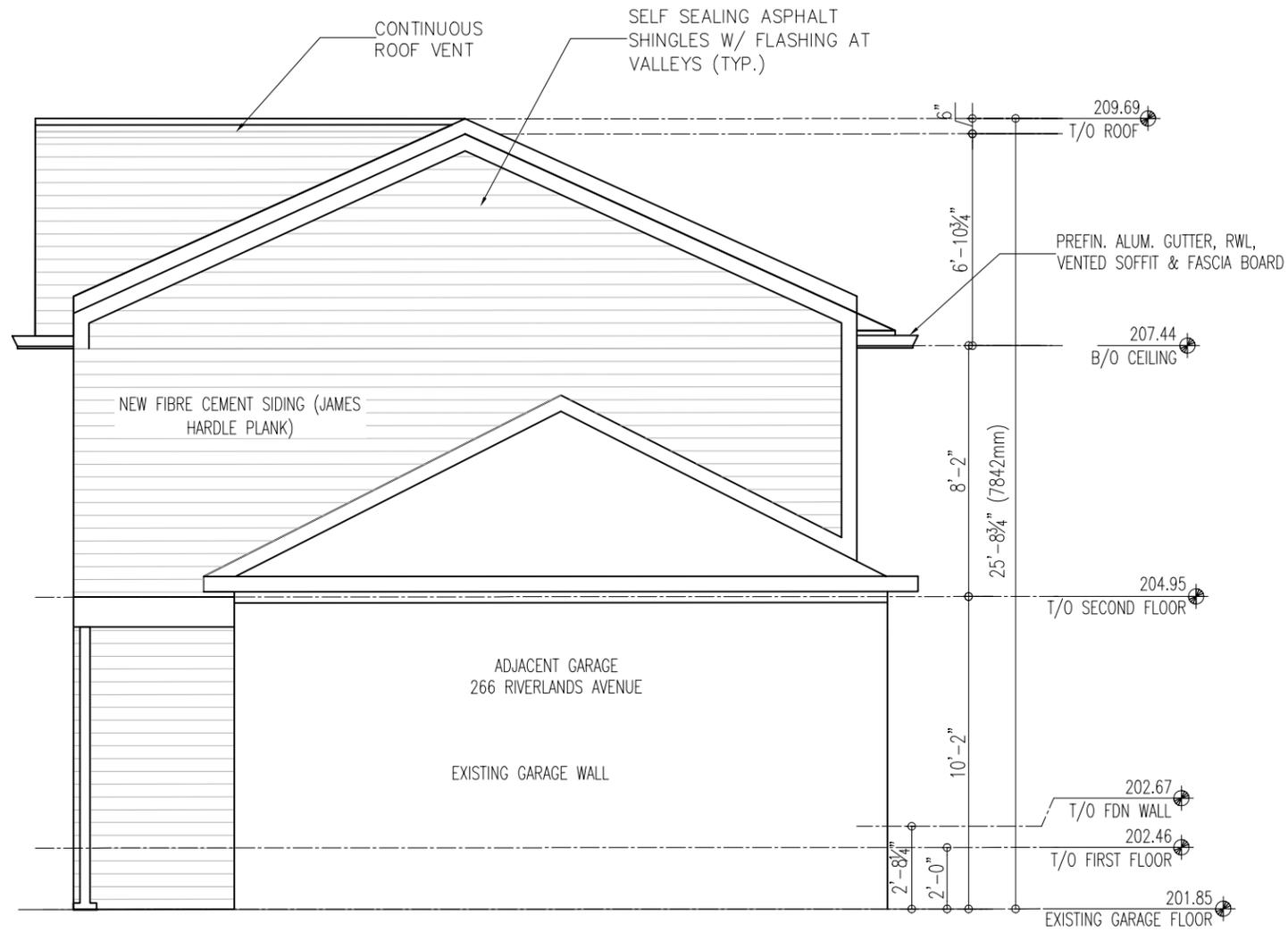
PROJECT:	
<b>PROPOSED COACH HOUSE</b> 264 Riverlands AVE MARKHAM ON L6B 0W2	

DRAWING TITLE :	<b>A-08</b>
<b>WEST ELEVATION</b>	

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**EAST ELEVATION**

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PROJECT:  
**PROPOSED COACH HOUSE**  
264 Riverlands AVE  
MARKHAM ON L6B 0W2



DRAWING TITLE :	<b>A-09</b>
<b>EAST ELEVATION</b>	