Memorandum to the City of Markham Committee of Adjustment January 25, 2021

File: A/138/20

Address: 2 Crofting Crescent, Markham (See Appendix A for full list of

addresses)

Applicant: Treasure Hill Homes
Agent: Treasure Hill Homes

Hearing Date: Wednesday February 03, 2021

The following comments are provided on behalf of the East Team: The applicant is requesting relief from the following requirements of By-law 177-96, "Residential Two" R2*185 as amended:

To permit:

a) Section 5, Table B2.Q:

a maximum garage width of 5.5 m (18 ft) with a lot frontage of 12.19 m (40 ft) - 13.29 m (43.6 ft), whereas the By-law permits a garage width of 4.5 m (14.76 ft);

as it relates to the construction of new single detached dwellings on 10 lots in a registered plan of subdivision.

Comments

The Committee of Adjustment approved minor variances on these 10 lots as a part of previous minor variance applications (Attached as Appendix B). Through review of their building permit application the applicant received comments that lots did not comply with the approved maximum garage width variance as the approved variance only applied to lots that had frontages between 10.7 (35 ft) – 12.19 m (40 ft). The applicant has submitted this variance to account for corner lots that have frontages greater than 12.19 m (40 ft) within the registered subdivision (Attached as Appendix C).

In order to reduce potential impacts involving additional parking needed for the inclusion of additional dwelling units previously approved (A/050/20), the applicant is requesting a maximum garage width of 5.5 m (18 ft) with a lot frontage of 12.19 m (40 ft) - 13.29 m (43.6 ft), whereas the By-law permits a garage width of 4.5 m (14.76 ft). This represents a difference of approximately 1 m (3.3 ft). Staff's comments and conditions listed in the July 24th, 2020 staff report attached as Appendix B remain applicable.

PUBLIC INPUT SUMMARY

No written submissions were received as of January 25, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see the conditions listed in the July 24th, 2020 staff report (Attached as Appendix B) for conditions to be attached to any approval of this application.

PREPARED BY:

Aqsa Malik, Hanner, East District

REVIEWED BY:

Stacia Muradali, Acting Development Manager, East District File Path: Amanda\File\ 20 135912 \Documents\District Team Comments Memo

APPENDICES

Appendix A (01/29/21) – Full List of Addresses Appendix B (01/29/21) – A/050/20 Staff Report Appendix C (01/29/21) – Plans



December 17, 2020

City of Markham
Planning & Urban Design Department
101 Town Centre Blvd.
Markham, Ontario
L3R 9W3

Attention: Aqsa Malik

Project Planner

RE: Minor Variance

Various Lots on Plan 65M-4573

Dear Aqsa,

To assist in your review of our minor variance application, below are the lots we will be including in the application and the legal descriptions.

LOT#	LOT SIZE	MUNICIPAL ADDRESS	MODEL NAME/ ELEV	PLAN
12	36'	2 CROFTING CRESCENT	PALMERTON 5 - 35D5 - A	65M-4573
22	36'	33 CROFTING CRESCENT	MONTCLAIRE 4 - 36D4 - C	65M-4573
25	36'	39 CROFTING CRESCENT	MONTCLAIRE 4 - 36D4 - C	65M-4573
35	36'	74 CROFTING CRESCENT	PALMERTON 5 - 35D5 - A	65M-4573
77	35'	65 WILLOW STREET	MONTCLAIRE 5 - 36D5 - C	65M-4573
90	36'	391 FRED MCLAREN BLVD	MONTCLAIRE 4 - 36D4 - C	65M-4573
100	35'	67 FURROW STREET	MONTCLAIRE 5 - 36D5 - C	65M-4573
111	36'	395 FRED MCLAREN BLVD	PALMERTON 5 - 35D5 - B	65M-4573
114	36'	401 FRED MCLAREN BLVD	PALMERTON 5 - 35D5- C	65M-4573
123	35'	77 GREENSPIRE AVE.	MONTCLAIRE 5 - 36D5 - B	65M-4573

Kind regards,

Chris Muns

Project Co-ordinator & Permit Facilitator

Memorandum to the City of Markham Committee of

July 24th, 2020

File: A/050/20

Address: 26 Crofting Crescent, Markham (See Appendix A for full list of

addresses)

Applicant: Treasure Hill (Joran Weiner)
Agent: Treasure Hill (Joran Weiner)

Hearing Date: July 29th, 2020

The following comments are provided on behalf of the East Team: The applicant is requesting relief from the following requirements of By-law 177-96, "Residential Two" R2*185 as amended:

To permit:

a) Section 6.6.3 a):

stairs to encroach into the interior side yard provided that no parts of the stair is located closer than 0.76 m (2.49 ft) from the interior side lot line;

Appendix B

b) Section 5, Table B2.T:

a minimum required rear yard of 6.0 m (19.68 ft) on a lot not accessed by a lane, whereas a minimum of 7.0 (22.96 ft) m is required;

c) Section 5, Table B2.Q:

a maximum garage width of 5.5 m (18 ft) on a lot that is not accessed by a lane with a lot frontage of 10.7 m to 12.19 m, whereas a maximum garage width of 3.5 m (11.48 ft) is permitted;

d) Parking By-law 28-97, Section 6.2.4.2 b) i) b):

To permit maximum driveway of 5.5 m (18 ft) with a minimum soft landscape of 23% provided on the front yard whereas minimum of 40% soft landscape required; and,

e) Section 6.5 & 7.5.3 (c):

one accessory dwelling unit in the basement, whereas no more than one dwelling unit is permitted on a lot;

as it relates to the construction of new single detached dwellings on 67 lots in a registered plan of subdivision.

BACKGROUND

Property Description

The subject vacant lots are located within a registered plan of subdivision which has not yet been constructed within the Wismer community, and which are generally located south of Major Mackenzie Drive, between McCowan Road and Markham Road. The lots to which the proposed variances apply to are distributed throughout the subdivision and namely located on Crofting Crescent, Coillier Crescent, Fred Mclaren Boulevard, Furrow Street, Greenspire Avenue, Titus Street and Willow Street (See Appendix A for a full list of addresses). The Wismer community is characterized primarily by single and semi-detached dwellings in addition to townhouses and more recently built high rise buildings on the eastern edge of the community fronting onto Markham Road.

Proposal

The applicant is proposing to construct 67 new single detached dwellings with two-car garages, and a purpose built dwelling unit in the basement.

Provincial Policies

More Homes, More Choice Act, 2019

The *More Homes, More Choice Act, 2019, S.O. 2019, c. 9* – (Bill 108), received Royal Assent on June 6, 2019 and portions were proclaimed on September 3, 2019. The proclaimed portions of Bill 108 amended the *Planning Act* to require Official Plans to contain policies providing for two residential units in detached, semi-detached and row houses, as well as permitting a residential unit in ancillary structures to a detached house, semi-detached house or rowhouse. Under this legislation, "second suites" are now referred to as "additional residential units", and the terms are used synonymously in this memorandum.

Provincial Policy Statement, 2020

Section 1.4.3 of the *Provincial Policy Statement, 2020*, requires planning authorities to provide for an appropriate range and mix of housing options and densities to meet the affordable housing needs of current and future residents. Amongst other means, this can be achieved by permitting and facilitating residential intensification, including additional residential units, and redevelopment by accommodating a significant supply and range of housing options through intensification and redevelopment while taking into account existing building stock.

<u>A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 (Growth Plan, 2019)</u>
Section 2.1.4 (c) of the Growth Plan, 2019 requires municipalities to provide a diverse range and mix of housing option including second units to support complete communities.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The subject property is designated "Residential Low Rise", which provides for low-rise housing forms including single detached dwellings. Section 8.2.3.6 of the 2014 Official Plan outlines development criteria for the 'Residential – Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a 'Residential Low Rise' area, development is required to meet the general intent of these development criteria.

The 2014 Official Plan (Section 4.1.2.6) contains policies to support further diversification of the housing stock and rental housing tenure by permitting secondary suites within existing and new permitted single-detached, semi-detached and row-house dwellings in accordance with Section 3.5.22 of the Regional Official Plan and subject to appropriate zoning, development criteria and standards.

As previously mentioned, the City's Official Plan designates the subject property "Residential Low Rise", which provides for low rise housing forms including single detached dwellings, and secondary suites in accordance with Section 8.13.8. A "Secondary Suite" in the 2014 Official Plan is defined as:

"...a second residential unit in a detached house, semi-detached house or row-house that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking.

sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons."

Section 8.13.8 states:

"That in considering an application to amend the zoning by-law to permit the establishment of a secondary suite where provided for in this Plan, Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including:

- a) the building type in which the secondary suite is contained;
- b) the percentage of the floor area of the building type devoted to the secondary suite;
- c) the number of dwelling units permitted on the same lot:
- d) the size of the secondary suite;
- e) the applicable parking standards; and
- f) the external appearance of the main dwelling."

Zoning By-Law 177-96

The subject property is zoned "Residential Two - R2*185" under By-law 177-96, as amended, which permits single detached dwellings. Exception *185 relates to additional zone standards for minimum setback for a driveway from the interior side lot line and minimum depth for a wide shallow lot and, is not applicable. The subject development does not comply with the by-law with respect to:

- a) Stairs encroachment into the interior side yard;
- b) Minimum required rear yard;
- c) Maximum garage width on lot that is not accessed by a lane with a lot frontage of 10.7m to 12.19 m;
- d) Maximum driveway width with a minimum soft landscape; and
- e) One accessory dwelling unit in the basement.

Applicant's Stated Reason(s) for Not Complying with Zoning

The applicant has provided a letter (attached as Appendix B" providing the reason for not complying with the Zoning By-Law.

Zoning Preliminary Review (ZPR) Undertaken

The owner completed a Zoning Preliminary Review (ZPR) on June 30th 2020 to confirm the variances required for the proposed development. Staff note that the Zoning Preliminary Review was conducted on plans for one (1) of the sixty-seven (67) lots, however, the applicant has indicated that they intend to build similar models. The proposed minor variance request applies to 67 lots that vary in lot frontages between 10.7 m (35.10 ft) and 11 m (36.08 ft). It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the noncompliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;

- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Reduction in Rear Yard Setback

The applicant is requesting relief to permit a minimum rear yard setback of 6 m (19.68 ft), whereas the By-law requires a minimum rear yard setback of 7 m (22.96 ft). This represents a reduction of approximately 1m (3.28 ft). Staff note that the variance will not result in a significant reduction in rear yard amenity space.

Purpose Built Secondary Suites

The applicant is proposing to provide purpose built residential units within the dwelling units on the lots subject to this variance application, whereas the by-law only permits one dwelling unit per lot. While the intent of the Official Plan is to provide for additional dwelling units, the zoning by-law has not been updated to reflect this provision as Markham Council prefers for additional dwelling unit permissions be evaluated on a site-by-site basis.

The City of Markham is committed to promoting affordable and shared housing opportunities. Additional residential units help the City increase the availability of affordable housing forms and provides support to achieve its affordable housing target required by the Province. Staff are of the opinion that the application meets the criteria under Section 8.13.8 of the 2014 Official Plan for the establishment of additional residential units and have no objection to the requested variance.

Increased Garage Widths

In order to reduce any potential impacts involving additional parking needed for the inclusion of the additional dwelling units proposed, the applicant is requesting for a maximum garage widths of 5.5 m (18 ft) on lots not accessed by a lane for lots with frontages of 10.7 m to 12.19 m, whereas a maximum garage width of 3.5 m (11.48 ft) is permitted. The applicant has also requested permission to permit maximum driveway widths of 5.5 m (18 ft) with a minimum soft landscaping of 23% provided in the front yard, whereas a minimum 40% soft landscaping is required.

As a result of the increased garage width on these smaller lots, the amount of soft landscaping provided is reduced from 40% to 23%. Staff also note that the opportunity to provide for street trees and on-street parking may be limited. The applicant will need to demonstrate to the satisfaction of the Director of Planning and Urban Design that adequate street trees and on-street parking can be provided should Committee approve the minor variances. This will be a condition of approval subject to the satisfaction of the Director of Planning and Urban Design. The applicant has indicated that the lots to which the proposed variances apply are distributed throughout the plan of subdivision and not clustered in one (1) area which may help alleviate some of the on-street parking and street planting concerns.

The applicant is also requesting a maximum stair encroachment of 0.76 m (2.49 ft) into the interior side yard, whereas the By-law does not permit stairs to encroach into the interior side yard. The subject variance is attributable to stairs which will access the proposed secondary suite in the basement. Staff note that the applicable zoning by-law permits interior side yard setbacks of 1.2 m (3.94 ft) and 0.6 m (1.97 ft). As a condition of approval, the stair encroachment will be required to be located in the interior side yard measuring 1.2 m (3.94 ft). A stair encroachment will not be permitted in the 0.6 m (1.97 ft) side yard. Should Committee

support the proposed variance, staff recommend that a condition be imposed which does not permit the stair encroachment into the 0.6 m (1.97 ft) interior side yard.

PUBLIC INPUT SUMMARY

No written submissions were received as of July 24th, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:

Agsa Malik, Planner I, East District

REVIEWED BY:

Stacia Muradali, Acting Manager, East District

File Path: Amanda\File\ 20 111164 \Documents\District Team Comments Memo

APPENDICES

Appendix A – Addresses

Appendix B – Applicant's Letter

Appendix C - Conditions

Appendix D - Plans

ARANCIA INVESTMENTS INC. MUNICIPAL ADDRESSES

Appendix A

File: 20.111164.000.00.MNV

Date: 07/24/20

MM/DD/YY

MINOR VARIANCE APPLICATION

		WIINOR VARIANCE	ALLECATION		
LOT NO.	MUNICIPAL #	ADDRESS	LOT NO.	MUNICIPAL #	ADDRESS
2	26	Crofting Crescent	59	62	Titus St.
3	24	Crofting Crescent	60	60	Titus St.
4	22	Crofting Crescent	61	58	Titus St.
7	12	Crofting Crescent	65	44	Titus St.
8	10	Crofting Crescent	68	41	Willow St.
12	2	Crofting Crescent	69	43	Willow St.
13	1	Crofting Crescent	70	45	Willow St.
14	3	Crofting Crescent	74	59	Willow St.
15	5	Crofting Crescent	75	61	Willow St.
16	7	Crofting Crescent	77	65	Willow St.
20	21	Crofting Crescent	78	62	Willow St.
21	23	Crofting Crescent	79	60	Willow St.
22	33	Crofting Crescent	80	58	Willow St.
25	39	Crofting Crescent	84	50	Willow St.
26	53	Crofting Crescent	85	48	Willow St.
27	55	Crofting Crescent	86	46	Willow St.
31	69	Crofting Crescent	87	44	Willow St.
32	71	Crofting Crescent	88	42	Willow St.
33	73	Crofting Crescent	90	391	Fred Mclaren Blvd.
34	75	Crofting Crescent	91	49	Furrow St.
35	74	Crofting Crescent	92	51	Furrow St.
37	70	Crofting Crescent	99	65	FurrowSt.
38	68	Crofting Crescent	100	67	FurrowSt.
39	66	Crofting Crescent	101	68	Furrow St.
40	64	Crofting Crescent	102	66	Furrow St.
41	62	Crofting Crescent	107	56	Furrow St.
45	48	Crofting Crescent	108	54	Furrow St.
48	28	Collier Crescent	109	52	Furrow St.
52	14	Collier Crescent	110	50	Furrow St.
53	12	Collier Crescent	111	395	Fred Mclaren Blvd.
54	10	Collier Crescent	114	401	Fred Mclaren Blvd.
55	8	Collier Crescent	115	61	Greenspire Ave.
56	6	Collier Crescent	123	77	Greenspire Ave.
58	2	Collier Crescent			
	•		_	-	-

REVISED: 4/2/2020 1 of 1



Appendix B

File: 20.111164.000.00.MNV

Date: 07/27/20

MM/DD/YY

MGP File: 18-0000

March 20, 2020

City of Markham Committee of Adjustment 101 Town Centre Blvd Markham, ON L3R 9W3

via email: smuradali@markham.ca

Attention: Stacia Muradali MCIP, RPP

Acting Manager, Planning and Development

Dear Stacia:

RE: Treasure Hill – Plan 65M-4573 Minor Variance Application

Treasure Hill is applying to the Committee of Adjustment requesting minor variances to facilitate the construction of new single detached dwellings located on Plan 65M-4573. The requested variances affect multiple lots on the registered M-Plan.

The following has been submitted in support of the minor variance application:

- Cover Letter and Planning Justification (this letter);
- Completed Application Form
- M-Plan identifying the affected lots (Schedule A);
- Architectural plans illustrating the requested variances and applicable statistics/information.

The variances being sought are applicable to all the lots listed on Schedule A (appended to the letter). They are requesting:

- 1. On lots with a frontage of 10.7m to 12.19m, the maximum garage width permitted is 5.5m, whereas the by-law allows for a maximum garage width of 3.5m;
- 2. To permit a minimum of 35% of front yard soft landscaping, whereas the by-law requires a minimum of 40%;
- To permit stairs or landings to encroach into required interior side yards, whereas the by-law only permits encroachment into required front and exterior side yards;
- 4. To permit a minimum rear yard setback of 6.0m on a lot not accessed by a lane, whereas the bylaw requires a minimum setback of 7.0m.

Purpose of Application

Treasure Hill is seeking these variances to provide flexibility for the affected units to accommodate a secondary suite in response to recent Provincial objectives.

In 2019 the Province released their action plan to help deal with many of the prevalent issues surrounding Ontario's housing market and affordability. In support of their plan, the Province unveiled the *More Homes, More Choice Act, 2019 (Bill 108)* which received Royal Assent on June 6, 2019.

RE: Minor Variance
Treasurehill – Plan 65M-4573

Under this new legislation, Section 16(3) of the *Planning* Act was introduced that requires municipal official plans to contain policies <u>authorizing</u> the inclusion of secondary suites within single-family detached and semi-detached dwellings. This addition, as well as a number of other legislative changes are intended to ensure that there is a supply of future affordable housing, including housing types that provides for a broad range of residents.

Many municipalities – including Markham – have yet to update their Official Plans to reflect this new Provincial mandate. However, the Province is clear in that Official Plans are to contain policies promoting secondary suites by allowing detached, semi-detached or rowhouses the ability to accommodate two residential units.

In light of this new provincial legislation and in anticipation of the required changes that will flow from the City updating their Official Plan, Treasurehill is seeking the aforementioned variances to "future proof" their homes so that they can be designed to accommodate a secondary suite.

Once the City of Markham has implemented the policies allowing for secondary suites as mandated, these affected units (should the variances be approved) will have the zoning and structural elements in place for purchasers to register a secondary suite. This will assist the City and province provide for a greater ranger of housing supply.

Justification of the Four Tests of a Minor Variance

To help with the City's review of this application, justification has been provided below on how the application meets the four tests under section 45(1) of Planning Act:

Is the general intent and purpose of the Official Plan maintained?

The subject property is designated "low-rise residential" in the City of Markham Official Plan. This designation allows for a variety of housing forms, including the single-detached homes as proposed.

As noted, the purpose of the requested variances is to provide these homes with the flexibility to accommodate a secondary suite. Ensuring that these homes are suitably designed and constructed to provide secondary suites will assist the Province meet an important directive.

Given that the variances continue to support a use that is permitted in the "low-rise residential" designation and that municipalities have been mandated to include policies supporting the development of secondary suites, it is my opinion that the application meets the general intent and objectives of the Official Plan currently, and can be seen as meeting the intent and purpose of what the Official Plan will be required to provide for in the future.

Is the general intent and purpose of the applicable Zoning by-law maintained?

The intent of the zoning for the subject lands is to ensure that development is in the form of single detached homes with appropriate setbacks. The proposed variances do not seek to alter that intention but rather to facilitate the fact that single-detached homes must now allow for the possibility of secondary suites. In order to allow for that, the requested variances are necessary.

The only variances that impacts the footprint of the proposed homes is the reduction in rear yard from a minimum of 7.0m to 6.0m for those lots that are not accessed by a lane. The reduction will still allow for an appropriately sized rear yard for the homes. All other setbacks will remain and as such, the impact in term of massing of the homes will remain consistent and will not negatively impact the general intent and purpose of the existing zoning restrictions.

The variances to the garage and driveway widths are intended to ensure that future construction of a secondary suite can be done in an appropriate manner by providing the potential for additional parking that

RE: Minor Variance
Treasurehill – Plan 65M-4573

can be accommodated on the lot itself as opposed to on-street parking, mitigating any parking impacts to the community. Further, the builder will work, together with City and Subdivision Control Architect, to ensure the building designs are well thought out and visually appealing.

Careful consideration has been placed on maintaining the character of the community. As such, the proposed house design is consistent with the architecture, size and quality of the other dwellings in the community and will significantly enhance the neighborhood streetscape. Based on the foregoing, I believe the variances meet the general intent and purpose of the by-law.

Are the requested variances desirable for the appropriate development of the property or use of land, building or structure?

As noted, the requested variances will allow for the potential future accommodation of secondary suites within the proposed single-detached dwellings. With recent Provincial legislation aimed at tackling the existing housing shortage by providing a greater range of housing supply, these variances will allow the type of housing that assists the Province meet an important objective.

The provision of secondary suites will also assist in the current housing affordability issue in multiple ways by providing homebuyers with a second income stream, injecting more housing supply in an environment where there is substantial demand, and introducing a housing form that is intrinsically more affordable than other ground-related product.

It is my opinion that the requested variances are desirable for the appropriate development of the subject lands.

Are the requested variances minor in nature?

The variances are minor in nature as they do not negatively impact the character of the existing neighbourhood. The variances when considered either individually or collectively, would still result in a dwelling that is comparably sized and similarly designed to the other dwellings in the community. Any potential on-street parking impacts resulting from the provision of a secondary suite is mitigated as the proposed garage width is wide enough to accommodate additional parking on the lot. All the in-force yard setbacks are maintained except for the 1.0m reduction in the rear yard setback, which remains appropriately sized even after the reduction.

It is the desire of Treasure Hill to provide a housing product that positively impacts the community presently while being an example of how secondary suites can be accommodated in the future.

RE: Minor Variance Treasurehill – Plan 65M-4573

I trust that the enclosed materials are sufficient to allow City staff to process and review the minor variance application. I request to be put on the next available Committee of Adjustment hearing date. If you require any additional information, or wish to discuss the application further, please do not hesitate to contact me.

Yours very truly,

Malone Given Parsons Ltd.

Lincoln Lo, MCIP, RPP

Page 4 of 4

APPENDIX "C" CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/050/20

- 1. The variances apply only to the proposed development as long as it remains;
- 2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix D' to this Staff Report and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
- 3. That the stair encroachment be located in the interior side yard measuring 1.2 m (3.94 ft);
- 4. That the Owner satisfies the Director of Planning and Urban Design that there is sufficient on street parking and boulevard trees; and
- 5. That the applicant demonstrates to the satisfaction of the Director of Planning and Urban Design Department that the basement has been adequately designed in accordance to the Ontario Building Code to accommodate a purpose built secondary suite.

CONDITIONS PREPARED BY:	
Ma .	
Affile	
Aqsa Malik, Planner I, East District	



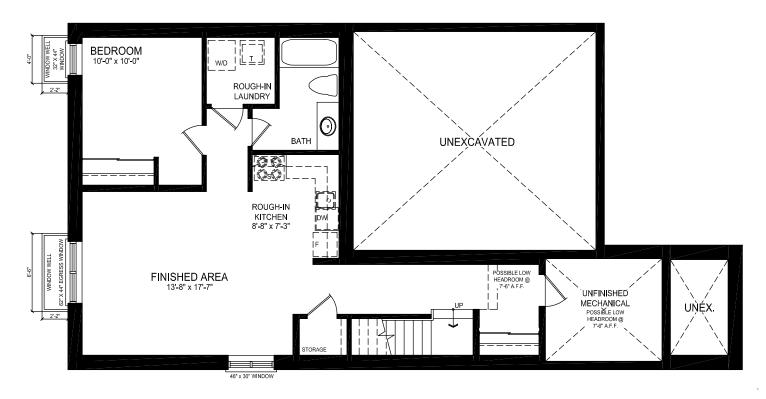
LOCATION MAP 35' (10.700m) Lots

36' (11.000m) Lots



KR

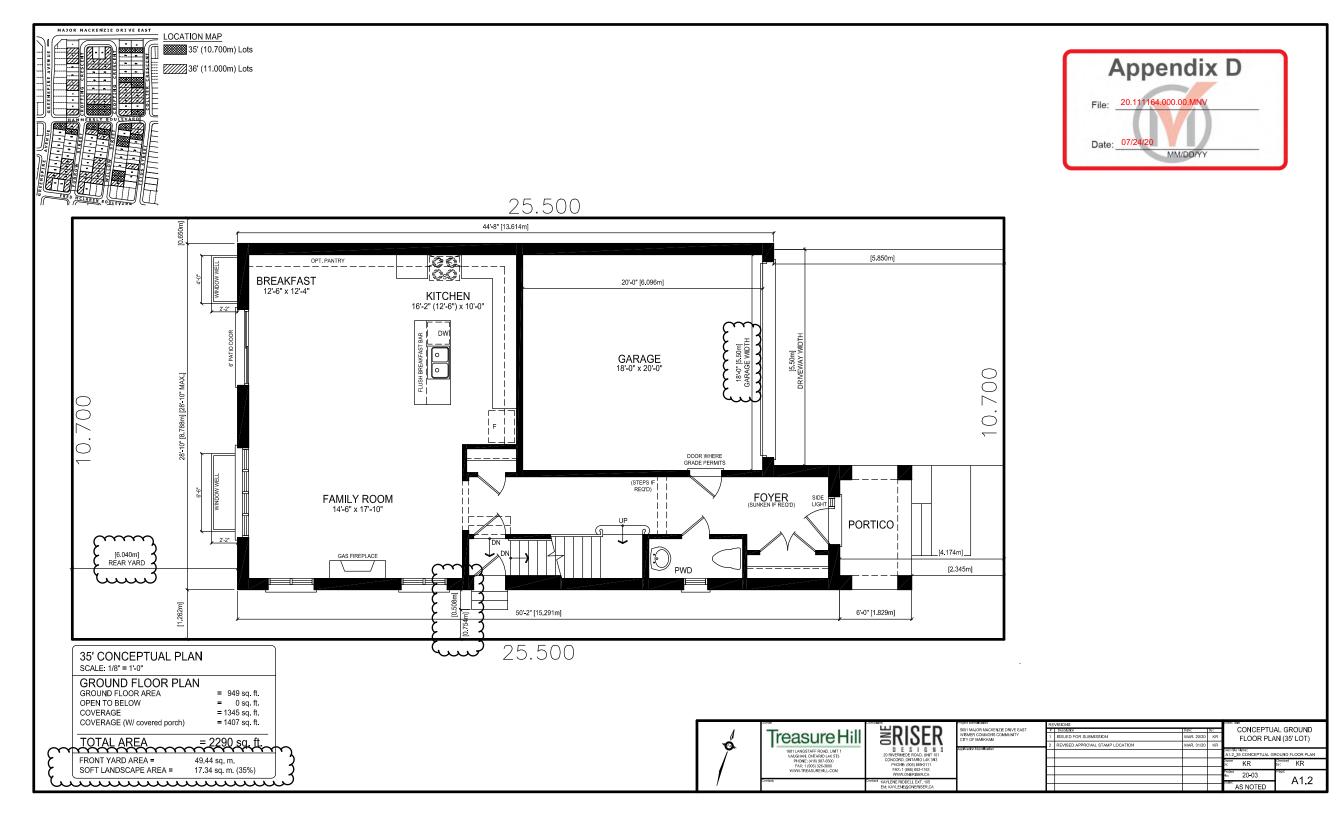
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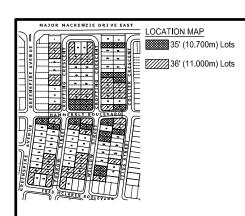


35' CONCEPTUAL PLAN SCALE: 1/8" = 1'-0" FINISHED BASEMENT = 795 sq. ft. FINISHED FLOOR AREA

CONCEPTUAL LAYOUT ONLY, SUBJECT TO MODIFICATION



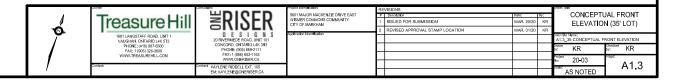


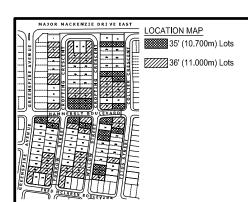






35' CONCEPTUAL FRONT ELEVATION SCALE: 1/8" = 1'-0"

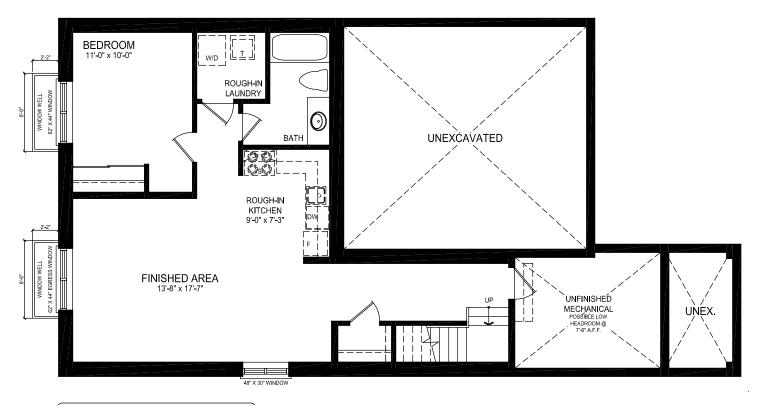






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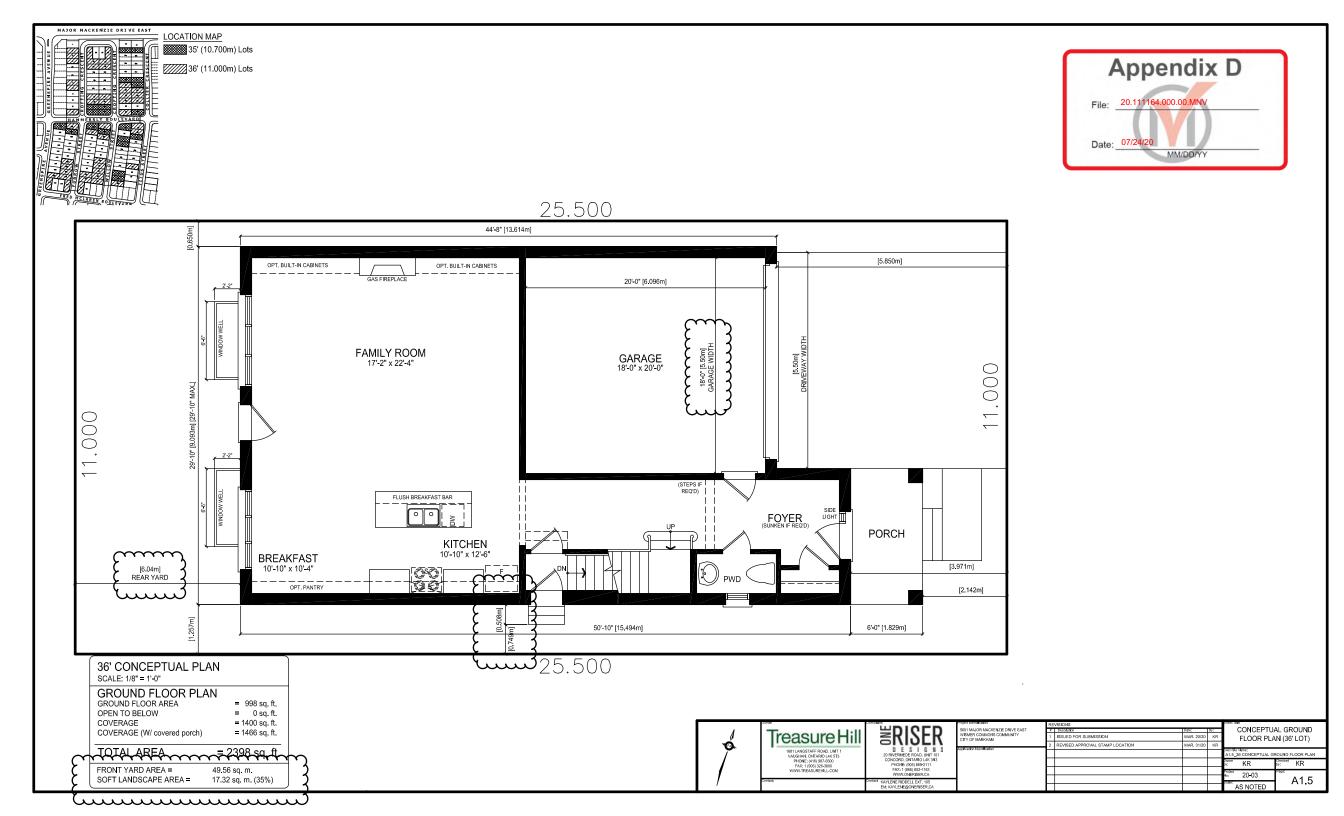
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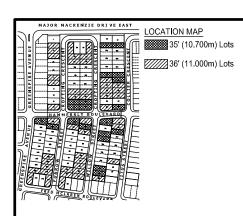


36' CONCEPTUAL PLAN SCALE: 1/8" = 1'-0" FINISHED BASEMENT FINISHED FLOOR AREA = 785 sq. ft.

CONCEPTUAL LAYOUT ONLY, SUBJECT TO MODIFICATION











36' CONCEPTUAL FRONT ELEVATION SCALE: 1/8" = 1'-0"



NOTES

(LINI ESS OTHERWISE NOTED

SB-12

ONTARIO BUILDING CODE (OBC), ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION -ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC IN BRACKETS

TYPICAL FRAME CONSTRUCTION UNI ESS NOTED OTHERWISE -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS -DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN

EXTERIOR WALLS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m -DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m -DOUBLE JOISTS UNDER PARALLEL PARTITIONS -BEAM TO BE PLACED UNDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS -BEAM MAY BE A MAX. 24" (600mm) FROM A

LOADBEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS -METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT

BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER -ALL STEEL BEAMS TO BE GRADE 350W LAMINATED VENEER LUMBER(LVL) TO BE GRADE 1.9E OR BETTER (MODULUS OF ELASTICITY, E 1.9X10⁶ psi TYPICAL ROOF CONSTRUCTION

-NO. 210 (30.5 kg/m2) ASPHALT SHINGLES -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTENT UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1'-0" (300mm) PAST THE INSIDE FACE OF THE -EAVES PROTECTION LAID BENEATH STARTER STRIP -STARTER STRIP AS PER OBC 9.26.7. (STARTER STRIF

NOT REQUIRED IF TYPE M ROLLED ROOFING IS USED FOR EAVES PROTECTION -3/8" (10mm) PLYWOOD SHEATHING OR OSB (O-2 GRADE) WITH "H" CLIPS

-APPROVED WOOD TRUSSES @ 24" O/C -TRUSS BRACING AS PER TRUSS MANUFACTURER -METAL EAVESTROUGH ON PREFINISHED ALUMINUM **FASCIA & ALUMINUM VENTED SOFFIT** -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT THE SOFFI

TYPICAL EXTERIOR SIDING WALL -VINYL SIDING (HORIZONTAL, VERTICAL, SHAKE OR -6" (150mm) BASE FLASHING UP BEHIND WALL

SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING *PROVIDE 1"X3" (25mmX75mm) STRAPPING @ 12" O/C HORIZ. UNDER SHEATING FOR VERTICAL SIDING ONLY -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -1/2" (12.7mm) GYPSUM BOARD

TYPICAL EXTERIOR STUCCO WALL -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIEF

-1/2" (12.7mm) GYPSUM BOARD EXTERIOR SIDING FIREWALL 45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE $\langle 2 \rangle$ WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

GARAGE WALLS WALL ASSEMBLY THE SAME AS NOTE (2) WITH THE FOLLOWING EXCEPTIONS: -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O/C 2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIER

TYPICAL EXTERIOR BRICK / STONE VENEER WALL -3 1/2" (90mm) FACE BRICK OR 4" (100mm) STONE.

PROVIDE WEEP HOLES @ 2'-6" (800mm) @ BOTTOM COURSE & ABOVE ALL OPENINGS -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -1" (25mm) AIR SPACE -GALV. METAL BRICK TIES @ 24" (600mm) H.O.C. AND -3/8" (10mm) EXTERIOR TYPE SHEATHING

-2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -GALV. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

EXTERIOR BRICK / STONE VENEER FIREWALL 45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE (3) WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF

0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

-2"X4" (38mm X 89mm) STUDS @ 16" (400mm) O/C -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIEF INTERIOR STUD WALLS

*NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY

-8" (200mm) SOLID 2200psi (20MPa) CONCRETE

MAX. SUPPORTED HEIGHT OF 6'-11" (2150mm

-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm)

*NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY

-10" (250mm) SOLID 2200psi (25MPa) CONCRETE

-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm)

MEASURED FROM GRADE TO FINISHED BASEMENT

-WHERE HYDROSTATIC PRESSURE OCCURS, FDN.

WALLS SHALL BE WATERPROOFED AS PER OBC

9.13.5 (WALLS THAT ARE WATERPROOFED DO NOT

-BITMINOUS DAMP PROOFING AS PER OBC 9.13.3.1

INTERIOR DAMPPROOFING EXTENDING FROM SLAB

-BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL -WALL

OTHER COURSE CLEAN GRANULAR MATERIAL AND

(0.15mm) POLYETHYLENE OR TYPE S ROLL ROOFING

W/12" (300mm) LAPPED JOINTS (DAMPPROOFING MAY

BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa

PROVIDE BOND BREAKING MATERIAL BETWEEN

-WHERE RADON EXISTS THE PERIMETER OF SLAB

AND ANY PENETRATIONS OF THE SLAB SHALL BE

SEALED AGAINST SOIL GAS LEAKAGE WITH FLEXIBLE

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED

BASEMENT SLAB / SLAB ON GRADE

SLAB-DAMPPROOF BELOW SLAB W/MIN. 0.006"

COMPRESSIVE STRENGTH AFTER 28 DAYS

SEALANT CONFORMING TO O.B.C. 9.10.13.7

23 1/2" (600mm) OF BASEMENT SLAB EDGE.

INSULATION TO EXTEND TO NOT LESS THAN

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION AT

PERIMETER OF SLAB WHERE GRADE IS WITHIN

23 1/2" (600mm) BELOW EXTERIOR GRADE LEVEL

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION UNDER

ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN

16mm) T & G SPRUCE PLYWOOD OR

-FLOOR JOISTS AS PER FLOOR PLANS (JOISTS

-5/8" (15.8 mm) GYPSUM BOARD OR 1/2" CEILING

= 5" (125mm) = 7-7/8" (200mm)

= 10" (255mm)

= 2'-10" (860mm)

= 2'-11" (900mm)

= 7-7/8" (200mm)

3'-6" (1070mm

2'-11" (900mm

2'-11" (900mn

2'-11" (900mm

= 1" (25mm)

EQUIVALENT AS PER 9.23.14.5, 9.30.2.2, & 9.30.2.3,

SPACED @ 12" (300mm) O.C. UNDER CERAMIC TILE

IT SHALL CONFORM TO OBC 9.13.7.

(O.B.C. SB-12 - 3.1.1.7 (5)).

23 1/2" (600mm) OF GRADE

(O.B.C. SB-12 - 3.1.1.7 (6)).

FLOOR ASSEMBLY

9 CEILING -R-60 (RSI 10.56) INSULATION

-MAX, RISE

-MAX. NOSING

-MIN. WIDTH

-MIN. RUN

-MIN. AVG. RUN

-MIN. HEADROOM

(BETWEEN WALL FACES

FOR CURVED STAIRS

RAILINGS / GUARDS

-INTERIOR LANDING

-FXTERIOR I ANDING

ON FULL BED OF MORTAR

INTERIOR STAIR

(EXIT STAIRS, BETWEEN GUARDS

NOTE: FOR EXTERIOR CONC. STEPS

(GREATER THAN 2'0" (610mm) ABOVE GRADE

(GREATER THAN 5'11" (1800mm) ABOVE GRADE

-4" (100mm) MAX. BETWEEN WOOD PICKETS

12 SILL PLATE -2" X 4" (38mm X 89mm) SILL PLATE W/ 1/2" (12.7mm

DIA. ANCHOR BOLTS @ 7'-10" (2.4m) O.C. FASTENED
TO PLATE W/ NUTS AND WASHERS & SHALL BE

EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN

WALL SILL PLATE TO BE CAULKED OR PLACED ON

MINERAL WOOL OR FOAM GASKET NOT LESS THAN 1

(25mm) THICK BEFORE COMPRESSING, OR PLACED

-FOUNDATIÓN WALL REQUIRED FOR 3 OR MORE

RISERS, FOOTING TO BE MIN. 4'-0" (1.22mm) BELOW

-6 MIL POLY AIR/VAPOUR BARRIER

STAIRS INTERIOR & EXTERIOR

-5" (100mm) OF 3/4" CLEAR STONE BASE

SHALL EXTEND A MIN. 6" (150mm) ABOVE GRADE

MAX. SUPPORTED HEIGHT OF 9'-4" (2850mm

-INSULATE W/ R-20 (RSI 3.52) CONTINUOUS

INSULATION ON INTERIOR SIDE OF FDN WALL.

9.13.3.2 (FINISHED BASEMENTS SHALL HAVE

TO GRADE LEVEL & SHALL CONFORM TO OBC

-DRAINAGE LAYER SHALL BE PROVIDED IN

CONFORMANCE TO OBC 9.14.2.1(2)(3)(4

WEEPING TILE

SLAB & FTG.

FOUNDATION WALL

SUPPORTED HEIGHT

SUPPORTED HEIGHT

2"X4" (38mm X 89mm) WOOD STUDS @ 16" (400mm EXTERIOR WALLS
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE O.C. OR 2"X6" (38mm X 140mm) WOOD STUDS @ 16" -2 STOREY BRICK - 19" X 6" (485mm X 155mm) -DOUBLE 2"X4" (38mm X 89mm) OR (38mm X 140mm -3 STOREY BRICK - 26" X 9" (660mm X 230mm) 2"X6" TOP PLATES INTERIOR BEARING WALLS SUPPORTING SINGLE 2"X4" (38mm X 89mm) OR (38mm X 140mm 2"X6" BOTTOM PLATE 1/2" (13mm) INTERIOR GYPSUM BOARD BOTH SIDES

-2 STOREY MASONRY = 26" X 9" (650mm X 230mm) -2 STOREY STUD = 18" X 6" (450mm X 150mm) -3 STOREY MASONRY = 36" X 14" (900mm X 360mm) -3 STOREY STUD = 24" X 8" (600mm X 200mm) BEARING STUD WALL (BASEMENT

CONTINUOUS KEY RESTING ON UNDISTURBED SOIL

ROCK OR COMPACTED GRANULAR FILL W/ MIN.

*FTG. SIZES MAY BE REDUCED FOR SOILS W

GREATER BEARING CAPACITY (AS PER SOILS

21 76psi (150kPa) BEARING CAPACITY

ENGINEERING REPORT)

-2"X4" (38mmX 89mm) WOOD STUDS OR 2"X6" (38mmX 40mm) WOOD STUDS @ 12" (300mm) O.C. -DOUBLE 2"X4" OR 2"X6" TOP PLATE MEASURED FROM GRADE TO FINISHED BASEMENT -2"X4" OR 2"X6" SILL PLATE ON DAMPPROOFING MATERIAL -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 8'-0" (2.4m) O.C. -FOOTING AS PER 13 W/ 4" CONC. CURE

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3 -3 1/2" (89mm) DIA. X 0.118 (4.78mm) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 16000 LBS (71.2 kN) AT A MIN. EXTENSION OF 7'-7 1/2" (2318mm) CONFORMING TO CAN/CGSB-7.2-94, AND W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3 2" (89mm) DIA. X 0.188 (4.78mm) FIXED STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 24000 LBS (108.6 kN) W 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15 MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN 2" (89mm) DIA. X 0.188 (4.78mm) NON-ADJUSTABLE STEEL COLUMN W/ 6"X6"X3/8" (150X150X9.5) STEEL TOP PLATE & 4 1/2"X10"X1/2" (120X250X12.5) STEEL BOTTOM 4" (100mm) DIA, WEEPING TILE LAID ON UNDISTURBED OR WELL COMPACTED SOIL. TOP OF WEEPING TILE TO BE BELOW BTM. OF FLR. SLAB. COVER TOP & SIDES OF PLATE W/ 2-1/2"DIA.X12"X2" (2-12mm DIA.X300mmX50m WEEPING TILE W/ 6" (150mm) OF CRUSHED STONE OR HOOK ANCHORS, FIELD WELD COLUMN TO BASE PLATE PILASTERS / BEAM POCKETS DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

X 8" (200mm X 200mm) POURED CONCRETE PEIR **BEAM POCKET** " (100mm) RECESSED INTO FDN. WALL, WIDTH TO MATCH BEAM SIZE W/ 1/2" (12.7mm) SPACE AROUND WOOD BEAMS STEEL BEAM WOOD PLATE / STRAPPING

-2"X6" PLATE BOLTED OR RAMSET TO STEEL BEAM FLANGE @ 16" O/C. JOISTS TO BE TOE NAILED TO PLATE. -1"X4" (19mm X 38mm) WOOD STRAPPING ON BOTH SIDES OF STEEL BEAM GARAGE SLAB

-4"(100mm) CONCRETE SLAB, 4650psi (32MPa COMPRESSIVE STRENGTH AFTER 28 DAYS FOR LINREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB . OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED GARAGE WALL & CEILING

-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE & GARAGE -TAPE AND SEAL ALL JOINTS GAS TIGHT -R22 (RSI 3.87) BATT INSULATION IN WALLS -R31 (RSI 5.46) SPRAY FOAM INSULATION IN CEILINGS W/ FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 & 9.25.4 FOR FLOOR ABOVE

GARAGE MAN DOOR TO BE GAS PROOFED WITH SELF CLOSER. WEATHERSTRIPPING, THRESHOLD & DEADBOLT

21 PRECAST CONC. STEP -2 RISERS PERMITTED TO BE LAID ON GROUND MAX.

22 CAPPED DRYER VENT OBC 9.32.1.3(3

ATTIC ACCESS HATCH 23 ATTIC ACCESS HATCH
-19 3/4" X 27 1/2" (500mmx700mm) ATTIC HATCH W/ WEATHER STRIPPING & BACKED W/ R40 (RSI 7.0) INSULATION

24 LINEN CLOSET -4 SHELVES MIN. 1'-2" (350mm) DEEP

-ROOM TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR - SEALED W/ ALUM.

26 WOOD COLUMN -6" X 6" (140mm X 140mm) SOLID No.1 SPF -METAL SHOE ANCHORED TO ETG. -25" X 25" X 12" (640mmX 640mmX 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9'-10" COL. SPACING 34" X 34" X 14" (860mmX 860mmX 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9'-10" COL. SPACING

PORCH SLAB "(100mm) CONCRETE SLAB, 4650psi (32MPa COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -ANY FILL PLACED UNDER SLAB . OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED PORCH SLAB ABOVE COLD CELLAR

FOR PORCHES LESS THAN 8'0" DEEP -5" (130mm) 4650psi (32 MPa) CONC. SLAB W/ 5-8% AIR ENTRAINMENT -REINFORCE W/ 10M BARS @ 8" (200mm) O.C. EACH WAY PLACED IN BTM. THIRD OF SLAB -24"X24" (600X600mm) 10M DOWELS @ 16" (400mm O.C. ANCHORED IN PERIMETER OF FDN. WALLS -SLOPE SLAB MIN. 1.5% TO EXTERIOR -PROVIDE L1+L7 LINTELS OR 2 - L7's BACK TO BACK OVER COLD CELLAR DOORS

1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS RIDGING @ MAX. 6'-11" (2.1m) O.C.

STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" -FASTED TO SILL OR HEADER @ ENDS

29 BLOCK VENEER WALL mm) CONCRETE BLOCK TO SUPPORT BRICK ABOVE. WALL AS PER NOTE (3) EXCEPT NO WEEP HOLES 30 WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN

CONTACT WITH GROUND OR FILL SHALL BE PRESSURE

TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE OR No.15 ROLL ROOFING POUBLE VOLUME WALL FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. FOR HORIZ. DISTANCES NOT EXCEEDING 2900mm (9'-6") PROVIDE

38x140 (2"x6") STUDS @400mm (16") o.c. WITH A CONTINUOUS HEADER AT THE GROUND FLOOR CEILING LEVEL TOENAILED AND GLUED TO THE TOP PLATES. 1/2" EXT. PLYWOOD CONVENTIONAL ROOF & CEILING FRAMING -2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O -2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm O.C. UNLESS OTHERWISE NOTED

COMMON RAFTERS & MIN. 1-1/2" (38mm) THICK VAULTED OR CATHEDRAL CEILING 2" (38mm) CROSS PURLINS -R31 (RSI 5.46) INSULATION, 3" (75mm) MIN. CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7 mm) GYPSUM BOARD

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN

WALLS ADJACENT TO ATTIC SPACE -1/2" (13mm) GYPSUM BOARD -6 MIL POLY AIR/VAPOUR BARRIER -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" -R22 (RSI 3.87) BATT INSULATION -7/16" (11mm) OSB SHEATHING ON ATTIC SIDE

EXPOSED CANTILEVERED FLOOR -6 MIL POLY AIR/VAPOUR BARRIEF -R31 (RSI 5.46) SPRAY FOAM INSULATION -VENTED ALUMINUM SOFFIT

UNSUPPORTED FDTN. WALLS @ OPENINGS & SUNKEN AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" LINSUPPORTED WALL LENGTH -3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" UNSUPPORTED WALL LENGTH -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" UNSUPPORTED WALL LENGTH -BARS STACKED VERTICALLY @ INTERIOR FACE OF WALL SPACED 5" O.C. W/ 2" (50mm) CONCRETE COVER & EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

PROPOSED ELECTRICAL PANEL LOCATION PROVIDE 2" X 4" SP#2 SUPPORT WALL ON INSIDE FACE
OF CI BEHIND ELECTRICAL PANEL (PANEL LOCATION MAY

39 ABOVE COOKTOP FIRE PROTECTION -FRAMING, FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE A MIN 2'-6" (750mm) CLEARANCE LINLESS FRAMING FINISHES AND CABINETRY ARE NON-COMBUSTIBLE, OR ARE PROTECTED AS PER 9 10 22 2(2)(b)(i) AND (ii) (WHERE 24" mm) CLEAR REQ'D). MINIMUM 18" (450mm) BETWEEN COMBLISTIBLE FRAMING FINISHES AND CABINETRY FROM WHERE THE RANGE IS TO BE LOCATED, PROTECTED BY MINIMUM 3/8" (9.5mm) GYPSUM BOARD, (NOT REQ'D WHERE COUNTER TOP SPLASH BOARDS OR BACK PLATES ARE

SMOKE ALARM (O.B.C - 9.10.19. PROVIDE 1 IN EACH BEDROOM PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS ALARMS TO BE CONNECTED IN CIRCUIT AND ITERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF NY ONE OF THEM SOUNDS. ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE OWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, OLLOWED BY 4 MINUTES OF ALARM

SMOKE ALARMS SHALL HAVE A VISUAL COMPONENT AS PER ARBON MONOXIDE ALARM (O.B.C. - 9.33.4. E PROVIDED ADJACENT TO EACH SLEEPING AREA. CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS HEN ACTIVATED. VHERE A STORAGE GARAGE IS ATTACHED OR BUILT-IN, A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING

MINIMUM 3-2"X6" OR 3-2"X4" BUILT UP COLUMN TO MATCH WALL THICKNESS. SQUASH BLOCKS TO BE PROVIDED TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM

BUILT UP COLUMNS TO BE NAILED WITH 1 ROW FOR 2"X4" COLUMNS AND 2 ROWS, STAGGERED FOR 2"X6" COLUMNS AT 8 1/2" O/C. NAIL LENGTH TO MATCH BUILT UP COLUMN

BASEMENT GENERAL NOTES - ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING

STRUCTURAL STEEL MEMBERS AND INSERTS SHALL B

CSA G.40.21-M350 AND EMBEDDED PLATES SHALL BE

EQUALLY ON BOTH SIDES OF GARAGE FOUNDATION

BACKELL SHALL BE PLACED AND COMPACTED

- ALL EXPOSED CONCRETE TO BE 32 Mpa W/ 5-7%

ALL FOOTINGS TO HAVE MIN. 2-15M BARS CONT.

- WHEN VENEER CUT IS GREATER THAN 26" A 10"

VARYING WALL HEIGHT

DOUBLE VOLUME WALI

LOAD BEARING WALL

POURED CONC. FDTN. WALL IS REQUIRED

WALLS TO AVOID LATERAL LOADING.

AFTER 28 DAYS.

GENERAL PURPOSE STEEL.

GROUND FLOOR GENERAL NOTES ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOW D BE A MIN. OF 2-2"X8" SPF# CAPACITY OF 150 KPA. (3135 PSF). (TO BE SITE VERIFIED ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE AND SHALL BE A MIN. OF 4'0" BELOW FINISHED GRADE. TED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALI CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL BOTH SIDES HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA

REATER THAN 7'

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE TTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND

TRIPLE STUDS @ CORNERS

REFER TO ELOOR TRUSS SHOP DRAWINGS FOR ALL OOR FRAMING INFORMATION

REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. ELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW RIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS

CONTRACTOR TO VERIEY ALL FLOOR & ROOF RUSSES, DIMENSIONS AND ENGINEERING. ANY DISCREPANCIES SHALL BE REPORTED TO 1 RISER DESIGNS PRIOR TO CONSTRUCTION.

ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN - ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE NOTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALI BOTH SIDES

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE OTTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND TRIPLE STUDS @ CORNERS

REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF RAMING INFORMATION CONTRACTOR TO VERIFY ALL FLOOR & ROOF RUSSES DIMENSIONS AND ENGINEERING ANY

DISCREPANCIES SHALL BE REPORTED TO 1 RISER

SECOND FLOOR GENERAL NOTES

ESIGNS PRIOR TO CONSTRUCTION.

PAD FOOTING SCHEDULE STEEL COLUMN SCHEDULE DOOR SCHEDULE 2'-10" x 6'-8" - INSULATED ENTRANCE DOOR 24"x24"x12" POURED CONC. PAD 4"X4"X1/4" H.S.S. W/ 6"X10"X1/2" BASE PLATE & 2-3/4" DIA. ANCHOR BOLTS W/ 4 BOLTS 2'-8" x 6'-8" - INSULATED FRONT DOORS 2 36"x36"x16" POURED CONC. PAD 3 1/2"DIA. 1/4" THICK W/ 10"X10"X1/2" BASE PL. W/ 3 42"x42"x19" POURED CONC. PAD 2'-8" x 6'-8" - WOOD & GLASS DOOR 2-3/4" 4 - 1 DIA. ANCHOR BOLTS 6" X 6" X 3/8" THICK W/ 12" X 12" X 1/2" BASE PLATE 2'-8" x 6'-8" x 1-3/4" - EXTERIOR SLAB DOOR 4 48"x48"x22" POURED CONC. PAD @ 4 - 3/4" DIA. ANCHOR BOLTS 5 54"x54"x25" POURED CONC. PAD 3'-0" X 6'-8" X 1-3/4" - EXTERIOR SLAB DOOR 5" X 5" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 60"x60"x28" POURED CONC. PAD 2'-8" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR @ 4 - 3/4" DIA. ANCHOR BOLTS ASSUME SOIL BEARING CAPACITY 150 Kpa 4" X 4" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR O BE SITE VERIFIED @ 4 - 3/4" DIA. ANCHOR BOLTS 2'-2" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR M" 25KN/m2 - USE 4 BOLTS FOR MOMENT CONNECTION 1'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR **REBAR NOTES** WOOD/STEEL LINTELS WOOD BEAMS 2'-0" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR L.L BOTTOM LOWER LEVEL 1 2 - 2"X8" SP#2 /B1 | 2 - 2"X8" SP#2 2-4" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR L2 3 - 2"X8" SP#2 B.U.L BOTTOM UPPER LEVEL WB2 3 - 2"X8" SP#2 .U.L TOP UPPER LEVEL L3 2 - 2"X10" SP#2 WB3 4 - 2"X8" SP# T.A.A. TOP ALL AROUND .4 3 - 2"X10" SP#2 WB4 2 - 2"X10" SP# B.E.W BOTTOM EACH WAY L5 2 - 2"X12" SP#2 WB5 3 - 2"X10" SP# WALL LEGEND L6 3 - 2"X12" SP#2 WB6 4 - 2"X10" SP#

WB7 2 - 2"X12" SP#

WB8 3 - 2"X12" SP#

WB9 4 - 2"X12" SP#2

7 3 1/2" x 3 1/2" x 1/4" (90x90x6) L

_8 | 3 1/2" x 3 1/2" x 5/16"(90x90x8) L

L9 4" x 3 1/2" x 1/4" (100x90x6) L

10 5" x 3 1/2" x 5/16" (125x90x8)

1 5" x 3 1/2" x 3/8" (125x90x10)

CONC. 4-15m BARS OVER OPENING, EXTENDED

EAM 24" BELOW OPENING W/ 1RE 0m

STIR-UPS @ 12" O/C

L12 6" x 4" x 3/8" (150x100x10) L

t is the builder's complete responsibility ensure that all plans submitted for approv ensure that all plans submitted for approve fully comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contra Architect is not responsible in any way for examining or approving site (lotting) plans covorking drawings with respect to any zoning obuilding code or permit matter or that an house can be properly built or located on its lot

Appendix C

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN O WILLIAMS LIMITED, ARCHITECT certify the the plans/drawings comply with the applicabl architectural control guidelines approved by th City of Markham and on file with the Desig

FLOOR AREA CALCULATION	EV. A		
GROUND FLOOR AREA	920	Sq. Ft.	_
SECOND FLOOR AREA	1377	Sq. Ft.	
TOTAL FLOOR AREA	2297	Sq. Ft.	
1st FLOOR OPEN AREA	0	Sq. Ft.	
2nd FLOOR OPEN AREA	0	Sq. Ft.	_
ADD TOTAL OPEN AREAS	0	Sq. Ft.	
ADD FIN. BASEMENT AREA	31	Sq. Ft.	
GROSS FLOOR AREA	2328.00	Sq. Ft.	
GROUND FLOOR COVERAGE	920	Sq. Ft.	_
GARAGE AREA	471	Sq. Ft.	
PORCH AREA	66	Sq. Ft.	-
TOTAL COVERAGE W/ PORCH	1457	Sq. Ft.	
	135.36	Sq. m.	_ [
TOTAL COVERAGE W/O PORCH	1391	Sq. Ft.	
	129.23	Sq. m.	_

FLOOR AREA CALCULATIONS ELEV. B			
GROUND FLOOR AREA	920	Sq. Ft.	
SECOND FLOOR AREA	1378	Sq. Ft.	
TOTAL FLOOR AREA	2298	Sq. Ft.	
1st FLOOR OPEN AREA	0	Sq. Ft.	
2nd FLOOR OPEN AREA	0	Sq. Ft.	
ADD TOTAL OPEN AREAS	0	Sq. Ft.	
ADD FIN. BASEMENT AREA	31	Sq. Ft.	
GROSS FLOOR AREA	2329.00	Sq. Ft.	
GROUND FLOOR COVERAGE	920	Sq. Ft.	
GARAGE AREA	471	Sq. Ft.	
PORCH AREA	49	Sq. Ft.	
TOTAL COVERAGE W/ PORCH	1440	Sq. Ft.	
	133.78	Sq. m.	
TOTAL COVERAGE W/O PORCH	1391	Sq. Ft.	
	129.23	Sq. m.	

FLOOR AREA CALCULATIO	NS	EL	EV. C
GROUND FLOOR AREA		920	Sq. Ft.
SECOND FLOOR AREA		1365	Sq. Ft.
TOTAL FLOOR AREA		2285	Sq. Ft.
1st FLOOR OPEN AREA		0	Sq. Ft.
2nd FLOOR OPEN AREA		0	Sq. Ft.
ADD TOTAL OPEN AREAS		0	Sq. Ft.
ADD FIN. BASEMENT AREA		31	Sq. Ft.
GROSS FLOOR AREA		2316.00	Sq. Ft.
GROUND FLOOR COVERAGE		920	Sq. Ft.
GARAGE AREA		471	Sq. Ft.
PORCH AREA		66	Sq. Ft.
TOTAL COVERAGE W/ PORCH		1457	Sq. Ft.
		135.36	Sq. m.
TOTAL COVERAGE W/O PORCH		1391	Sq. Ft.
	Ī	129.23	Sq. m.

GLAZING CALCULATION CHA	ART EL. A
GRADE TO SECOND FLOOR	11.75 ft.
SECOND FLOOR TO TOP OF PLATE	8.03 ft.
GROUND FLOOR PERIMETER	160.33 ft.
SECOND FLOOR PERIMETER	165.83 ft.
TOTAL WALL AREA	3216.06 s.f.
GLAZING FRONT ELEVATION	79.13 s.f.
GLAZING LEFT SIDE ELEVATION	199.50 s.f.
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.
GLAZING REAR ELEVATION	161.26 s.f.
TOTAL GLAZING AREA	455.89 s.f.
ALLOWABLE GLAZING AREA	17 %
GLAZING AREA	14.18%

GLAZING CALCULATION CHA	ART EL. B
GRADE TO SECOND FLOOR	11.75 ft.
SECOND FLOOR TO TOP OF PLATE	8.03 ft.
GROUND FLOOR PERIMETER	160.33 ft.
SECOND FLOOR PERIMETER	165.83 ft.
TOTAL WALL AREA	3216.10 s.f.
GLAZING FRONT ELEVATION	101.16 s.f.
GLAZING LEFT SIDE ELEVATION	249.50 s.f.
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.
GLAZING REAR ELEVATION	118.70 s.f.
TOTAL GLAZING AREA	485.36 s.f.
ALLOWABLE GLAZING AREA	17 %
GLAZING AREA	15.09%

GLAZING CALCULATION CHART EL. C			
GRADE TO SECOND FLOOR	11.75 ft.		
SECOND FLOOR TO TOP OF PLATE	8.03 ft.		
GROUND FLOOR PERIMETER	160.33 ft.		
SECOND FLOOR PERIMETER	165.83 ft.		
TOTAL WALL AREA	3216.10 s.f.		
GLAZING FRONT ELEVATION	77.33 s.f.		
GLAZING LEFT SIDE ELEVATION	243.77 s.f.		
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.		
GLAZING REAR ELEVATION	118.70 s.f.		
TOTAL GLAZING AREA	455.80 s.f.		
ALLOWABLE GLAZING AREA	17 %		

5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
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3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
RE	VISIONS		

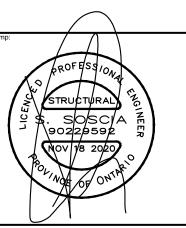
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FAX: 1 (866) 602-1163 WWW.ONERISER.CA

CONSTRUCTION NOTES

27816 32026 1 RISER DESIGNS In



TREASURE HILL

ARANCIA

CITY OF MARKHAM

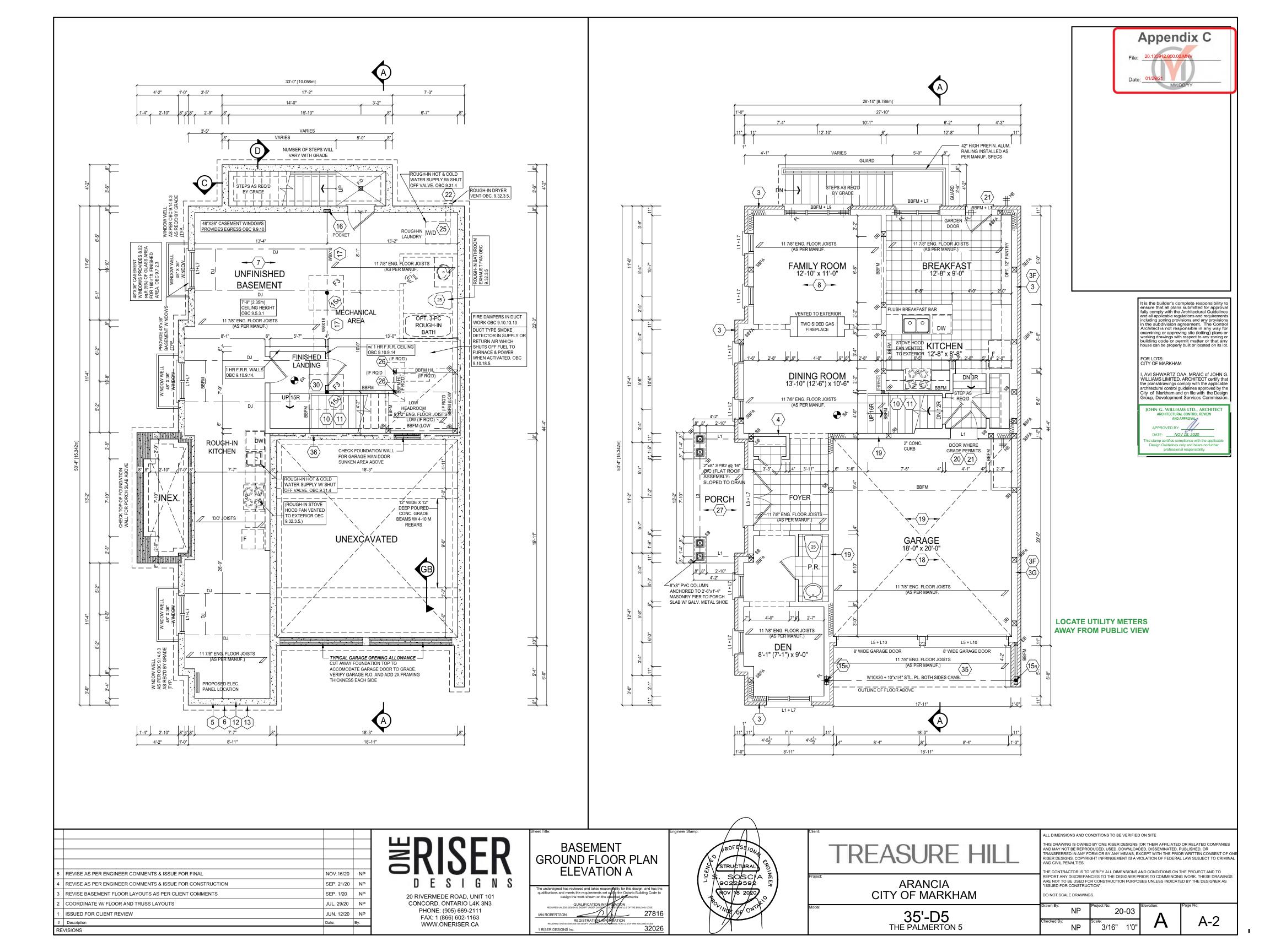
SER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMIT

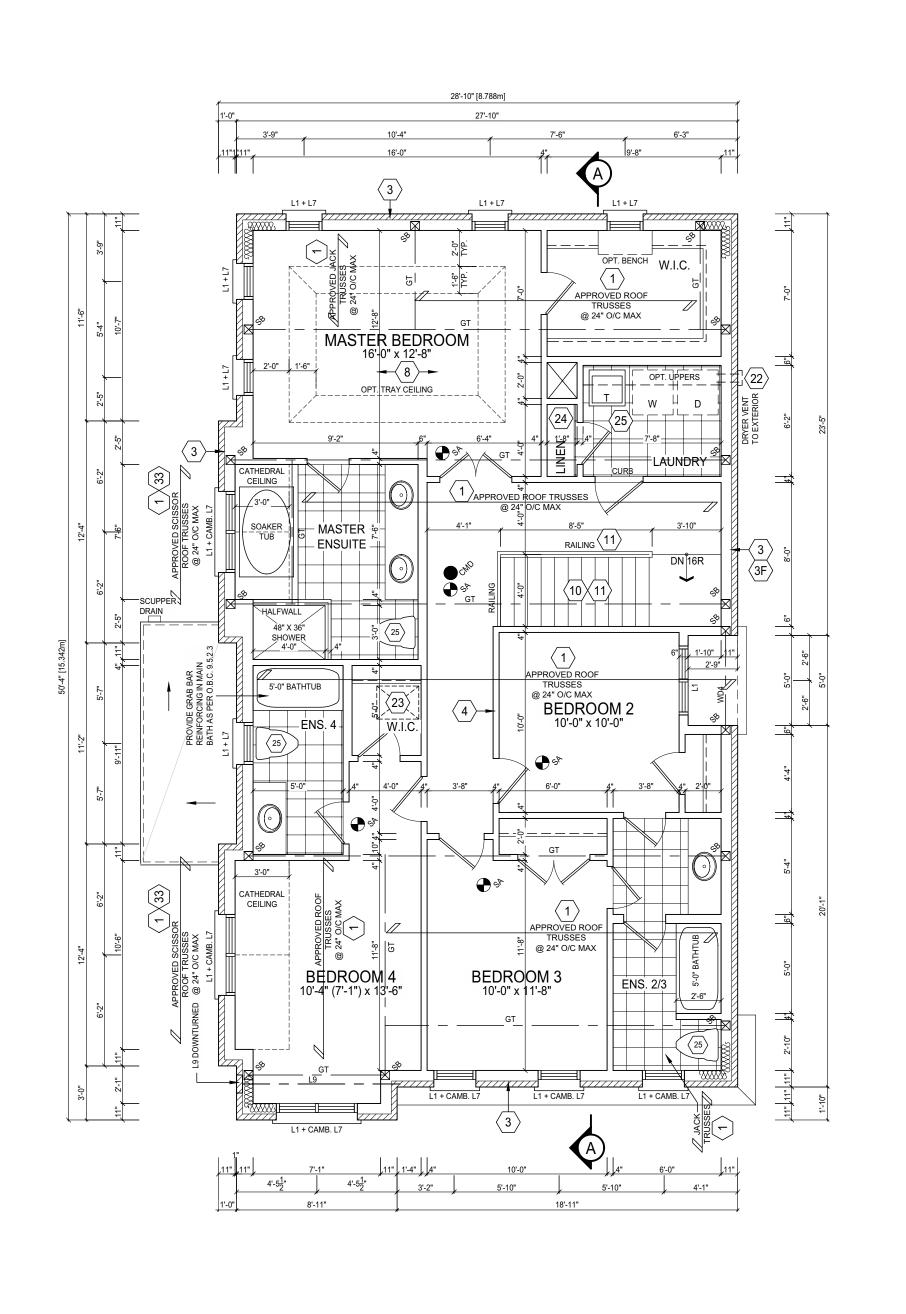
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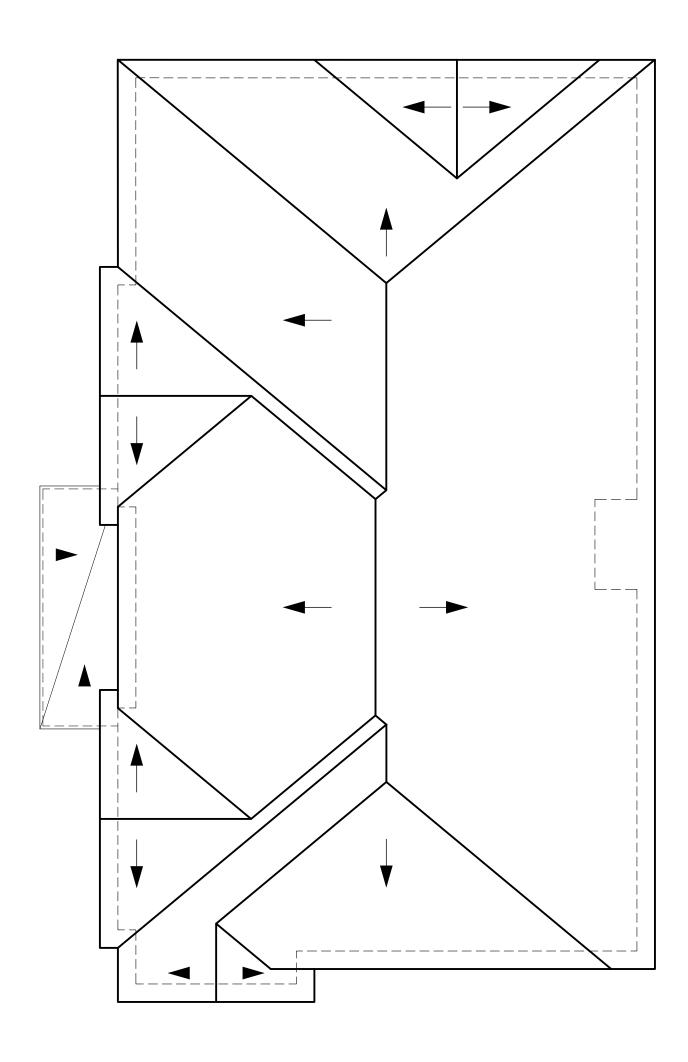
L DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SIT

NP 20-03 35'-D5 THE PALMERTON 5 NP 3/16"









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FOR LOTS: CITY OF MARKHAM

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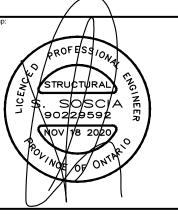
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL DATE: NOV 18, 2020 stamp certifies compliant sign Certifies

5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
	1/0/01/0		

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SECOND FLOOR ROOF PLAN ELEVATION A





TREASURE HILL

ARANCIA CITY OF MARKHAM

35'-D5 THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SI

NP

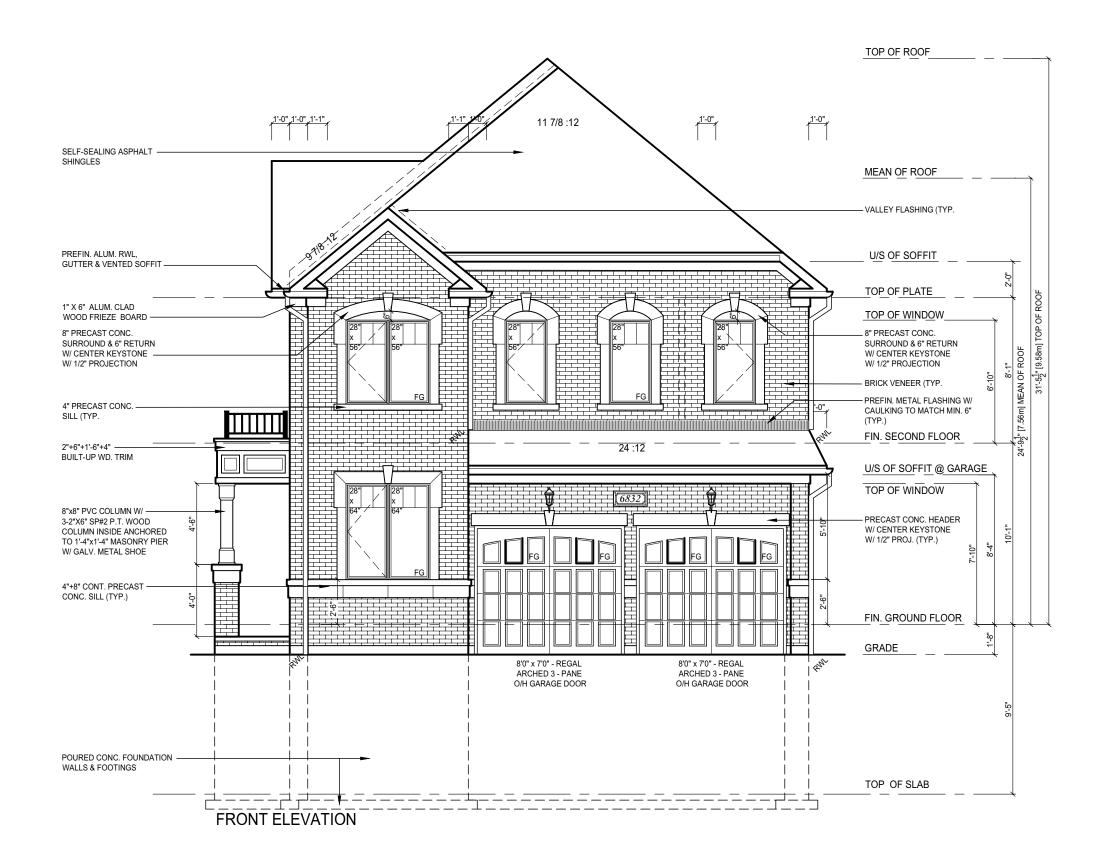
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20-03 3/16" 1'0'





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1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
RE	VISIONS		



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TREASURE HILL

ARANCIA CITY OF MARKHAM

35'-D5 THE PALMERTON 5

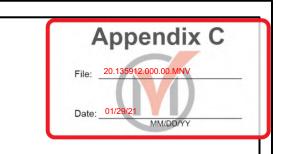
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OO NOT SCALE DRAWINGS NP

NP

20-03 3/16" 1'0'





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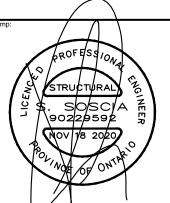
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY: DATE: <u>NOV 18, 2020</u> his stamp certifies compliance with the applicable Design Guidelines only and bears no further

5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
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TREASURE HILL

ARANCIA CITY OF MARKHAM

35'-D5 THE PALMERTON 5

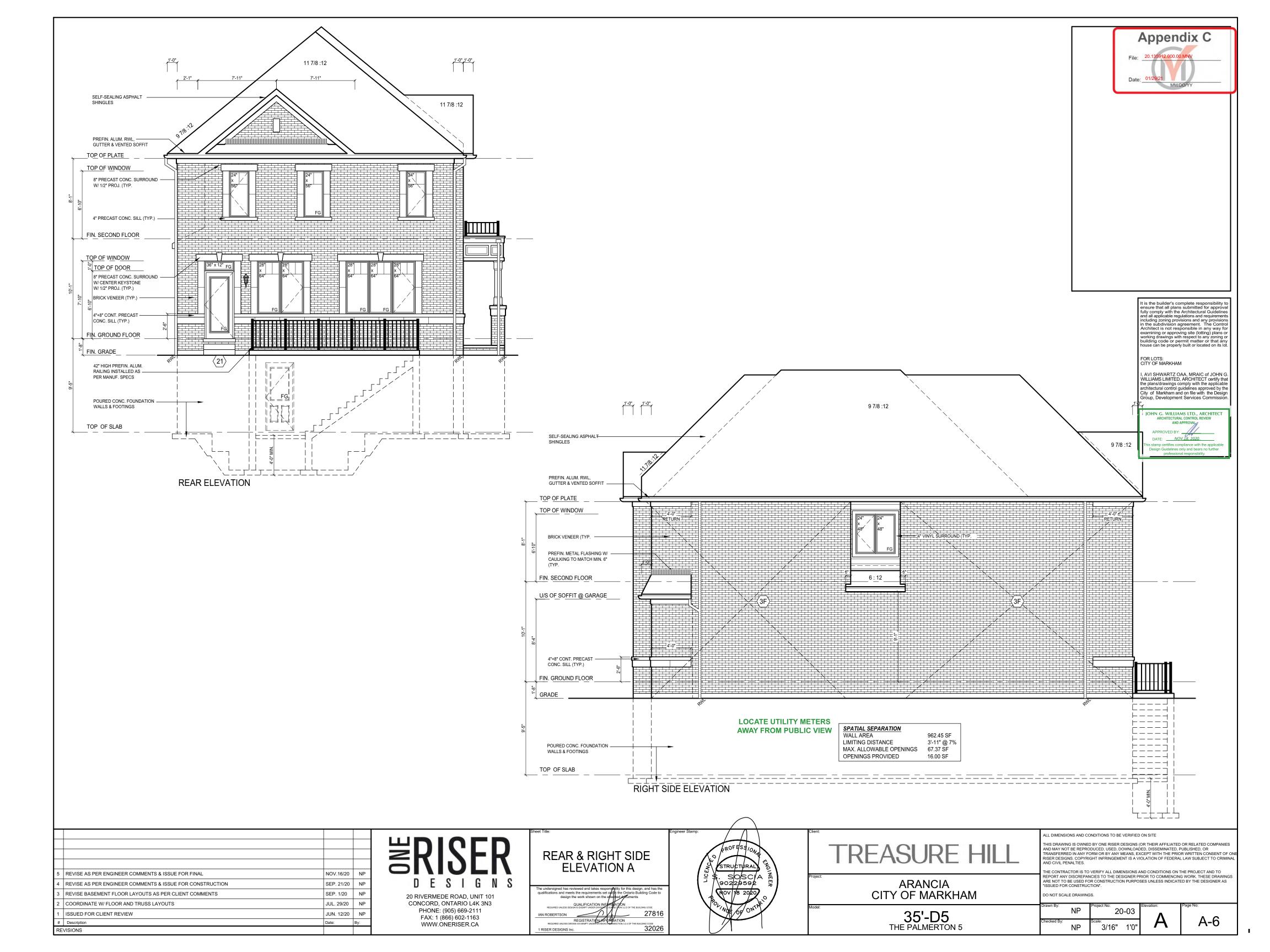
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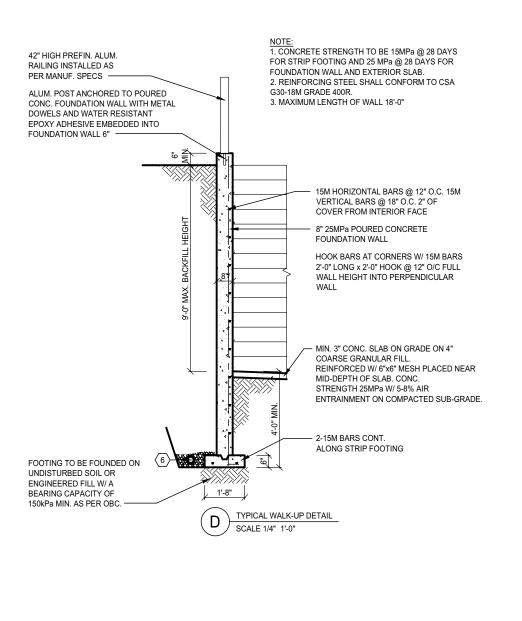
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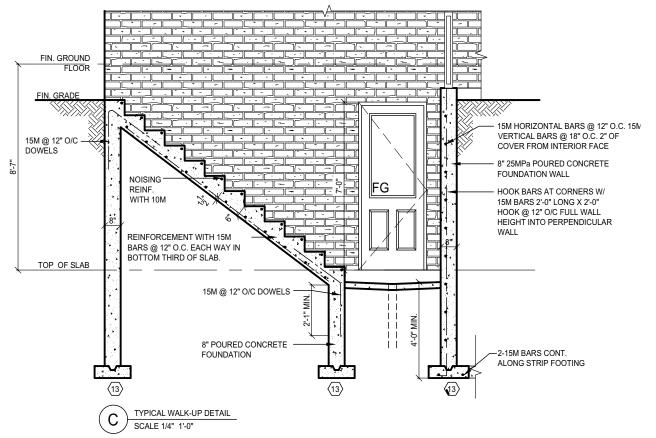
NP 20-03

NP

3/16" 1'0'







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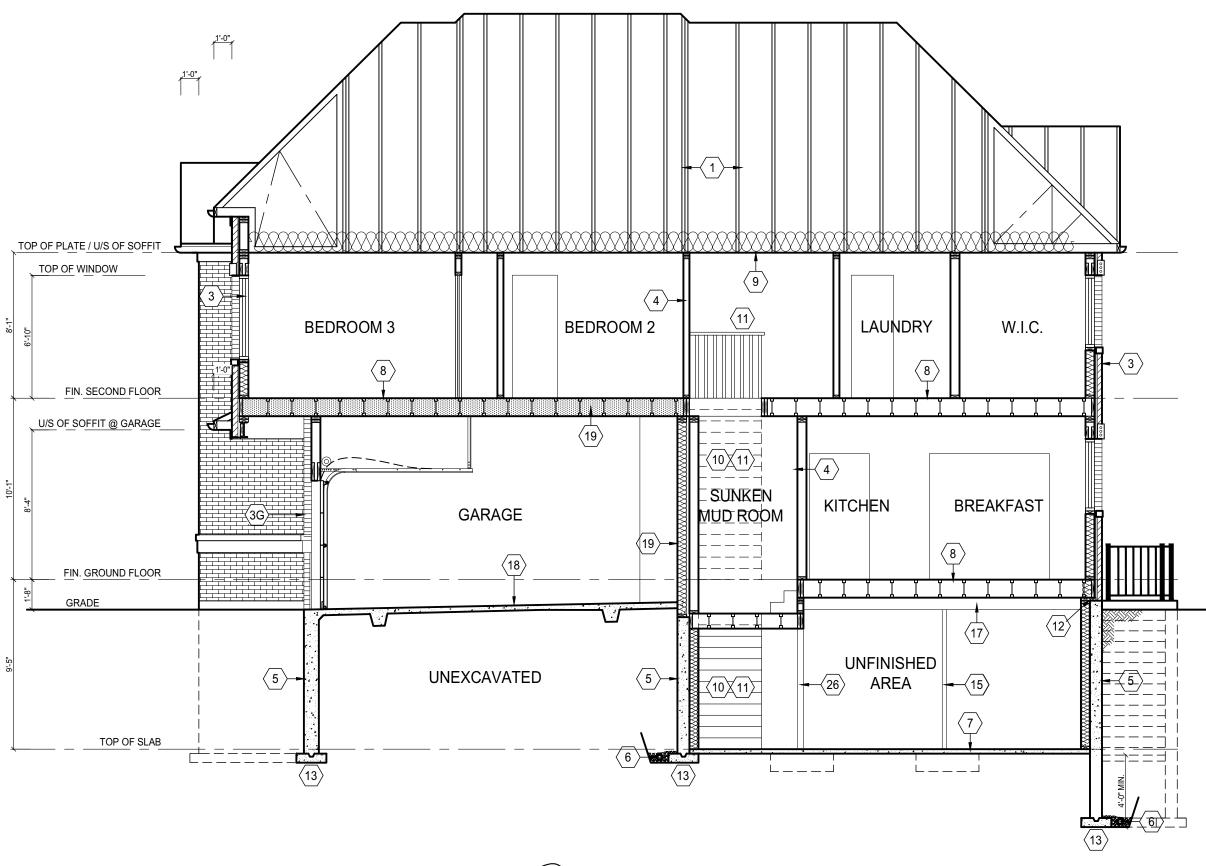
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements

Appendix C

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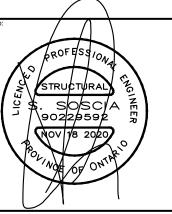
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL NO	OV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION SE	EP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS SE	EP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS JUI	JL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW JUI	JN. 12/20	NP
#	Description Date	te:	Ву:



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SECTION 'A'-'A' AND DETAILS





TREASURE HILL

ARANCIA CITY OF MARKHAM

> 35'-D5 THE PALMERTON 5

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE	

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ISSUED FOR CONSTRUCTION".

OO NOT SCALE DRAWINGS.

NP	Project No: 20	0-03	Elevation
NP	Scale: 3/16"	1'0"	/

Checked By:

NOTES

(LINI ESS OTHERWISE NOTED

SB-12

ONTARIO BUILDING CODE (OBC), ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION -ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC IN BRACKETS

TYPICAL FRAME CONSTRUCTION UNI ESS NOTED OTHERWISE -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS -DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN

EXTERIOR WALLS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m -DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m -DOUBLE JOISTS UNDER PARALLEL PARTITIONS -BEAM TO BE PLACED UNDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS -BEAM MAY BE A MAX. 24" (600mm) FROM A

LOADBEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS -METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT

BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER -ALL STEEL BEAMS TO BE GRADE 350W -LAMINATED VENEER LUMBER(LVL) TO BE GRADE 1.9E OR BETTER (MODULUS OF ELASTICITY, E 1.9X10⁶ psi TYPICAL ROOF CONSTRUCTION

-NO. 210 (30.5 kg/m2) ASPHALT SHINGLES -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTENT UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1'-0" (300mm) PAST THE INSIDE FACE OF THE -EAVES PROTECTION LAID BENEATH STARTER STRIP -STARTER STRIP AS PER OBC 9.26.7. (STARTER STRIF

NOT REQUIRED IF TYPE M ROLLED ROOFING IS USED FOR EAVES PROTECTION -3/8" (10mm) PLYWOOD SHEATHING OR OSB (O-2 GRADE) WITH "H" CLIPS

-APPROVED WOOD TRUSSES @ 24" O/C -TRUSS BRACING AS PER TRUSS MANUFACTURER -METAL EAVESTROUGH ON PREFINISHED ALUMINUM **FASCIA & ALUMINUM VENTED SOFFIT** -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT THE SOFFI

TYPICAL EXTERIOR SIDING WALL -VINYL SIDING (HORIZONTAL, VERTICAL, SHAKE OR -6" (150mm) BASE FLASHING UP BEHIND WALL

SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING *PROVIDE 1"X3" (25mmX75mm) STRAPPING @ 12" O/C HORIZ. UNDER SHEATING FOR VERTICAL SIDING ONLY -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -1/2" (12.7mm) GYPSUM BOARD

TYPICAL EXTERIOR STUCCO WALL -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIEF

-1/2" (12.7mm) GYPSUM BOARD EXTERIOR SIDING FIREWALL 45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE $\langle 2 \rangle$ WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

GARAGE WALLS WALL ASSEMBLY THE SAME AS NOTE (2) WITH THE FOLLOWING EXCEPTIONS: -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O/C 2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIER

TYPICAL EXTERIOR BRICK / STONE VENEER WALL -3 1/2" (90mm) FACE BRICK OR 4" (100mm) STONE.

PROVIDE WEEP HOLES @ 2'-6" (800mm) @ BOTTOM COURSE & ABOVE ALL OPENINGS -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -1" (25mm) AIR SPACE -GALV. METAL BRICK TIES @ 24" (600mm) H.O.C. AND -3/8" (10mm) EXTERIOR TYPE SHEATHING

-2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -GALV. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

EXTERIOR BRICK / STONE VENEER FIREWALL 45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE (3) WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF

0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

-2"X4" (38mm X 89mm) STUDS @ 16" (400mm) O/C -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIEF INTERIOR STUD WALLS

*NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY

-8" (200mm) SOLID 2200psi (20MPa) CONCRETE

MAX. SUPPORTED HEIGHT OF 6'-11" (2150mm

-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm)

*NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY

-10" (250mm) SOLID 2200psi (25MPa) CONCRETE

-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm)

MEASURED FROM GRADE TO FINISHED BASEMENT

-WHERE HYDROSTATIC PRESSURE OCCURS, FDN.

WALLS SHALL BE WATERPROOFED AS PER OBC

9.13.5 (WALLS THAT ARE WATERPROOFED DO NOT

-BITMINOUS DAMP PROOFING AS PER OBC 9.13.3.1

INTERIOR DAMPPROOFING EXTENDING FROM SLAB

-BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL -WALL

OTHER COURSE CLEAN GRANULAR MATERIAL AND

(0.15mm) POLYETHYLENE OR TYPE S ROLL ROOFING

W/12" (300mm) LAPPED JOINTS (DAMPPROOFING MAY

BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa

PROVIDE BOND BREAKING MATERIAL BETWEEN

-WHERE RADON EXISTS THE PERIMETER OF SLAB

AND ANY PENETRATIONS OF THE SLAB SHALL BE

SEALED AGAINST SOIL GAS LEAKAGE WITH FLEXIBLE

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED

BASEMENT SLAB / SLAB ON GRADE

SLAB-DAMPPROOF BELOW SLAB W/MIN. 0.006"

COMPRESSIVE STRENGTH AFTER 28 DAYS

SEALANT CONFORMING TO O.B.C. 9.10.13.7

23 1/2" (600mm) OF BASEMENT SLAB EDGE.

INSULATION TO EXTEND TO NOT LESS THAN

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION AT

PERIMETER OF SLAB WHERE GRADE IS WITHIN

23 1/2" (600mm) BELOW EXTERIOR GRADE LEVEL

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION UNDER

ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN

16mm) T & G SPRUCE PLYWOOD OR

-FLOOR JOISTS AS PER FLOOR PLANS (JOISTS

-5/8" (15.8 mm) GYPSUM BOARD OR 1/2" CEILING

= 5" (125mm) = 7-7/8" (200mm)

= 10" (255mm)

= 2'-10" (860mm)

= 2'-11" (900mm)

= 5-7/8" (150mm)

= 7-7/8" (200mm)

3'-6" (1070mm

2'-11" (900mm

2'-11" (900mn

2'-11" (900mm

= 1" (25mm)

EQUIVALENT AS PER 9.23.14.5, 9.30.2.2, & 9.30.2.3,

SPACED @ 12" (300mm) O.C. UNDER CERAMIC TILE

IT SHALL CONFORM TO OBC 9.13.7.

(O.B.C. SB-12 - 3.1.1.7 (5)).

23 1/2" (600mm) OF GRADE

(O.B.C. SB-12 - 3.1.1.7 (6)).

FLOOR ASSEMBLY

9 CEILING -R-60 (RSI 10.56) INSULATION

-MAX, RISE

-MAX. NOSING

-MIN. WIDTH

-MIN. RUN

-MIN. AVG. RUN

-MIN. HEADROOM

(BETWEEN WALL FACES

FOR CURVED STAIRS

RAILINGS / GUARDS

-INTERIOR LANDING

-FXTERIOR I ANDING

ON FULL BED OF MORTAR

INTERIOR STAIR

(EXIT STAIRS, BETWEEN GUARDS

NOTE: FOR EXTERIOR CONC. STEPS

(GREATER THAN 2'0" (610mm) ABOVE GRADE

(GREATER THAN 5'11" (1800mm) ABOVE GRADE

-4" (100mm) MAX. BETWEEN WOOD PICKETS

12 SILL PLATE
2" X 4" (38mm X 89mm) SILL PLATE W/ 1/2" (12.7mm

DIA. ANCHOR BOLTS @ 7'-10" (2.4m) O.C. FASTENED
TO PLATE W/ NUTS AND WASHERS & SHALL BE

EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN

WALL SILL PLATE TO BE CAULKED OR PLACED ON

MINERAL WOOL OR FOAM GASKET NOT LESS THAN 1

(25mm) THICK BEFORE COMPRESSING, OR PLACED

-FOUNDATIÓN WALL REQUIRED FOR 3 OR MORE

RISERS, FOOTING TO BE MIN. 4'-0" (1.22mm) BELOW

-6 MIL POLY AIR/VAPOUR BARRIER

STAIRS INTERIOR & EXTERIOR

-5" (100mm) OF 3/4" CLEAR STONE BASE

SHALL EXTEND A MIN. 6" (150mm) ABOVE GRADE

MAX. SUPPORTED HEIGHT OF 9'-4" (2850mm

-INSULATE W/ R-20 (RSI 3.52) CONTINUOUS

INSULATION ON INTERIOR SIDE OF FDN WALL.

9.13.3.2 (FINISHED BASEMENTS SHALL HAVE

TO GRADE LEVEL & SHALL CONFORM TO OBC

-DRAINAGE LAYER SHALL BE PROVIDED IN

CONFORMANCE TO OBC 9.14.2.1(2)(3)(4

WEEPING TILE

SLAB & FTG.

FOUNDATION WALL

SUPPORTED HEIGHT

SUPPORTED HEIGHT

2"X4" (38mm X 89mm) WOOD STUDS @ 16" (400mm EXTERIOR WALLS
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE O.C. OR 2"X6" (38mm X 140mm) WOOD STUDS @ 16" -2 STOREY BRICK - 19" X 6" (485mm X 155mm) -DOUBLE 2"X4" (38mm X 89mm) OR (38mm X 140mm -3 STOREY BRICK - 26" X 9" (660mm X 230mm) 2"X6" TOP PLATES INTERIOR BEARING WALLS SUPPORTING SINGLE 2"X4" (38mm X 89mm) OR (38mm X 140mm 2"X6" BOTTOM PLATE 1/2" (13mm) INTERIOR GYPSUM BOARD BOTH SIDES

-2 STOREY MASONRY = 26" X 9" (650mm X 230mm) -2 STOREY STUD = 18" X 6" (450mm X 150mm) -3 STOREY MASONRY = 36" X 14" (900mm X 360mm) -3 STOREY STUD = 24" X 8" (600mm X 200mm) BEARING STUD WALL (BASEMENT

CONTINUOUS KEY RESTING ON UNDISTURBED SOIL

ROCK OR COMPACTED GRANULAR FILL W/ MIN.

*FTG. SIZES MAY BE REDUCED FOR SOILS W

GREATER BEARING CAPACITY (AS PER SOILS

21 76psi (150kPa) BEARING CAPACITY

ENGINEERING REPORT)

-2"X4" (38mmX 89mm) WOOD STUDS OR 2"X6" (38mmX 40mm) WOOD STUDS @ 12" (300mm) O.C. -DOUBLE 2"X4" OR 2"X6" TOP PLATE MEASURED FROM GRADE TO FINISHED BASEMENT -2"X4" OR 2"X6" SILL PLATE ON DAMPPROOFING MATERIAL -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 8'-0" (2.4m) O.C. -FOOTING AS PER 13 W/ 4" CONC. CURE

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3 -3 1/2" (89mm) DIA. X 0.118 (4.78mm) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 16000 LBS (71.2 kN) AT A MIN. EXTENSION OF 7'-7 1/2" (2318mm) CONFORMING TO CAN/CGSB-7.2-94, AND W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3 2" (89mm) DIA. X 0.188 (4.78mm) FIXED STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 24000 LBS (108.6 kN) W 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15 MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN 2" (89mm) DIA. X 0.188 (4.78mm) NON-ADJUSTABLE STEEL COLUMN W/ 6"X6"X3/8" (150X150X9.5) STEEL TOP PLATE & 4 1/2"X10"X1/2" (120X250X12.5) STEEL BOTTOM 4" (100mm) DIA, WEEPING TILE LAID ON UNDISTURBED OR WELL COMPACTED SOIL. TOP OF WEEPING TILE TO BE BELOW BTM. OF FLR. SLAB. COVER TOP & SIDES OF PLATE W/ 2-1/2"DIA.X12"X2" (2-12mm DIA.X300mmX50m WEEPING TILE W/ 6" (150mm) OF CRUSHED STONE OR HOOK ANCHORS, FIELD WELD COLUMN TO BASE PLATE PILASTERS / BEAM POCKETS DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

X 8" (200mm X 200mm) POURED CONCRETE PEIR **BEAM POCKET** F (100mm) RECESSED INTO FDN. WALL, WIDTH TO MATCH BEAM SIZE W/ 1/2" (12.7mm) SPACE AROUND WOOD BEAMS STEEL BEAM WOOD PLATE / STRAPPING

-2"X6" PLATE BOLTED OR RAMSET TO STEEL BEAM FLANGE @ 16" O/C. JOISTS TO BE TOE NAILED TO PLATE. -1"X4" (19mm X 38mm) WOOD STRAPPING ON BOTH SIDES OF STEEL BEAM GARAGE SLAB

-4"(100mm) CONCRETE SLAB, 4650psi (32MPa COMPRESSIVE STRENGTH AFTER 28 DAYS FOR LINREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB . OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED GARAGE WALL & CEILING

-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE & GARAGE -TAPE AND SEAL ALL JOINTS GAS TIGHT -R22 (RSI 3.87) BATT INSULATION IN WALLS -R31 (RSI 5.46) SPRAY FOAM INSULATION IN CEILINGS W/ FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 & 9.25.4 FOR FLOOR ABOVE

GARAGE MAN DOOR TO BE GAS PROOFED WITH SELF CLOSER. WEATHERSTRIPPING, THRESHOLD & DEADBOLT

21 PRECAST CONC. STEP -2 RISERS PERMITTED TO BE LAID ON GROUND MAX.

22 CAPPED DRYER VENT OBC 9.32.1.3(3

ATTIC ACCESS HATCH 23 ATTIC ACCESS HATCH
-19 3/4" X 27 1/2" (500mmx700mm) ATTIC HATCH W/ WEATHER STRIPPING & BACKED W/ R40 (RSI 7.0) INSULATION

24 LINEN CLOSET -4 SHELVES MIN. 1'-2" (350mm) DEEP

-ROOM TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR - SEALED W/ ALUM.

26 WOOD COLUMN -6" X 6" (140mm X 140mm) SOLID No.1 SPF -METAL SHOE ANCHORED TO ETG. -25" X 25" X 12" (640mmX 640mmX 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9'-10" COL. SPACING 34" X 34" X 14" (860mmX 860mmX 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9'-10" COL. SPACING

PORCH SLAB "(100mm) CONCRETE SLAB, 4650psi (32MPa COMPRESSIVE STRENGTH AFTER 28 DAYS FOR LINREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -ANY FILL PLACED UNDER SLAB . OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED PORCH SLAB ABOVE COLD CELLAR

FOR PORCHES LESS THAN 8'0" DEEP -5" (130mm) 4650psi (32 MPa) CONC. SLAB W/ 5-8% AIR ENTRAINMENT -REINFORCE W/ 10M BARS @ 8" (200mm) O.C. EACH WAY PLACED IN BTM. THIRD OF SLAB -24"X24" (600X600mm) 10M DOWELS @ 16" (400mm O.C. ANCHORED IN PERIMETER OF FDN. WALLS -SLOPE SLAB MIN. 1.5% TO EXTERIOR -PROVIDE L1+L7 LINTELS OR 2 - L7's BACK TO BACK OVER COLD CELLAR DOORS

1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS RIDGING @ MAX. 6'-11" (2.1m) O.C.

STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" -FASTED TO SILL OR HEADER @ ENDS

29 BLOCK VENEER WALL mm) CONCRETE BLOCK TO SUPPORT BRICK ABOVE. WALL AS PER NOTE (3) EXCEPT NO WEEP HOLES 30 WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN

CONTACT WITH GROUND OR FILL SHALL BE PRESSURE

TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE OR No.15 ROLL ROOFING POUBLE VOLUME WALL FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. FOR HORIZ. DISTANCES NOT EXCEEDING 2900mm (9'-6") PROVIDE

38x140 (2"x6") STUDS @400mm (16") o.c. WITH A CONTINUOUS HEADER AT THE GROUND FLOOR CEILING LEVEL TOENAILED AND GLUED TO THE TOP PLATES. 1/2" EXT. PLYWOOD CONVENTIONAL ROOF & CEILING FRAMING -2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O -2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm O.C. UNLESS OTHERWISE NOTED

COMMON RAFTERS & MIN. 1-1/2" (38mm) THICK VAULTED OR CATHEDRAL CEILING 2" (38mm) CROSS PURLINS -R31 (RSI 5.46) INSULATION, 3" (75mm) MIN. CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7 mm) GYPSUM BOARD

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN

WALLS ADJACENT TO ATTIC SPACE -1/2" (13mm) GYPSUM BOARD -6 MIL POLY AIR/VAPOUR BARRIER -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" -R22 (RSI 3.87) BATT INSULATION -7/16" (11mm) OSB SHEATHING ON ATTIC SIDE

EXPOSED CANTILEVERED FLOOR -6 MIL POLY AIR/VAPOUR BARRIEF -R31 (RSI 5.46) SPRAY FOAM INSULATION -VENTED ALUMINUM SOFFIT

UNSUPPORTED FDTN. WALLS @ OPENINGS & SUNKEN AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" LINSUPPORTED WALL LENGTH -3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" UNSUPPORTED WALL LENGTH -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" UNSUPPORTED WALL LENGTH -BARS STACKED VERTICALLY @ INTERIOR FACE OF WALL SPACED 5" O.C. W/ 2" (50mm) CONCRETE COVER & EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

PROPOSED ELECTRICAL PANEL LOCATION PROVIDE 2" X 4" SP#2 SUPPORT WALL ON INSIDE FACE
OF CI BEHIND ELECTRICAL PANEL (PANEL LOCATION MAY

39 ABOVE COOKTOP FIRE PROTECTION -FRAMING, FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE A MIN 2'-6" (750mm) CLEARANCE LINLESS FRAMING FINISHES AND CABINETRY ARE NON-COMBUSTIBLE, OR ARE PROTECTED AS PER 9 10 22 2(2)(b)(i) AND (ii) (WHERE 24" mm) CLEAR REQ'D). MINIMUM 18" (450mm) BETWEEN COMBLISTIBLE FRAMING FINISHES AND CABINETRY FROM WHERE THE RANGE IS TO BE LOCATED, PROTECTED BY MINIMUM 3/8" (9.5mm) GYPSUM BOARD, (NOT REQ'D WHERE COUNTER TOP SPLASH BOARDS OR BACK PLATES ARE

SMOKE ALARM (O.B.C - 9.10.19. PROVIDE 1 IN EACH BEDROOM PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS ALARMS TO BE CONNECTED IN CIRCUIT AND ITERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF NY ONE OF THEM SOUNDS. ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE OWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, OLLOWED BY 4 MINUTES OF ALARM

SMOKE ALARMS SHALL HAVE A VISUAL COMPONENT AS PER ARBON MONOXIDE ALARM (O.B.C. - 9.33.4. E PROVIDED ADJACENT TO EACH SLEEPING AREA. CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS HEN ACTIVATED. VHERE A STORAGE GARAGE IS ATTACHED OR BUILT-IN, A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING

MINIMUM 3-2"X6" OR 3-2"X4" BUILT UP COLUMN TO MATCH WALL THICKNESS. SQUASH BLOCKS TO BE PROVIDED TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM

BUILT UP COLUMNS TO BE NAILED WITH 1 ROW FOR 2"X4" COLUMNS AND 2 ROWS, STAGGERED FOR 2"X6" COLUMNS AT 8 1/2" O/C. NAIL LENGTH TO MATCH BUILT UP COLUMN

BASEMENT GENERAL NOTES - ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING

STRUCTURAL STEEL MEMBERS AND INSERTS SHALL BE

CSA G.40.21-M350 AND EMBEDDED PLATES SHALL BE

EQUALLY ON BOTH SIDES OF GARAGE FOUNDATION

BACKELL SHALL BE PLACED AND COMPACTED

- ALL EXPOSED CONCRETE TO BE 32 Mpa W/ 5-7%

ALL FOOTINGS TO HAVE MIN. 2-15M BARS CONT.

- WHEN VENEER CUT IS GREATER THAN 26" A 10"

POURED CONC. FDTN. WALL IS REQUIRED

PAD FOOTING SCHEDULE

24"x24"x12" POURED CONC. PAD

2 36"x36"x16" POURED CONC. PAD

3 42"x42"x19" POURED CONC. PAD

4 48"x48"x22" POURED CONC. PAD

5 54"x54"x25" POURED CONC. PAD

60"x60"x28" POURED CONC. PAD

O BE SITE VERIFIED

REBAR NOTES

B.L.L BOTTOM LOWER LEVEL

B.U.L BOTTOM UPPER LEVEL

.U.L TOP UPPER LEVEL

T.A.A. TOP ALL AROUND

B.E.W BOTTOM EACH WAY

WALL LEGEND

ASSUME SOIL BEARING CAPACITY 150 Kpa

VARYING WALL HEIGHT

DOUBLE VOLUME WALI

LOAD BEARING WALL

WALLS TO AVOID LATERAL LOADING.

AFTER 28 DAYS.

GENERAL PURPOSE STEEL.

GROUND FLOOR GENERAL NOTES ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOW D BE A MIN. OF 2-2"X8" SPF# CAPACITY OF 150 KPA. (3135 PSF). (TO BE SITE VERIFIED ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE AND SHALL BE A MIN. OF 4'0" BELOW FINISHED GRADE. TED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALI CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL BOTH SIDES HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE TTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND

TRIPLE STUDS @ CORNERS

REFER TO FLOOR TRUSS SHOP DRAWINGS FOR ALL

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. ELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW RIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS

CONTRACTOR TO VERIEY ALL FLOOR & ROOF RUSSES, DIMENSIONS AND ENGINEERING. ANY DISCREPANCIES SHALL BE REPORTED TO 1 RISER DESIGNS PRIOR TO CONSTRUCTION.

3 1/2"DIA. 1/4" THICK W/ 10"X10"X1/2" BASE PL. W/

WB2 3 - 2"X8" SP#2

WB3 4 - 2"X8" SP#

WB4 2 - 2"X10" SP#

WB5 3 - 2"X10" SP#

WB6 4 - 2"X10" SP#

WB7 2 - 2"X12" SP#

WB8 3 - 2"X12" SP#

WB9 4 - 2"X12" SP#2

STEEL COLUMN SCHEDULE

DIA. ANCHOR BOLTS W/ 4 BOLTS

2-3/4" 4 - 1 DIA. ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

1 2 - 2"X8" SP#2

L2 3 - 2"X8" SP#2

L3 2 - 2"X10" SP#2

.4 3 - 2"X10" SP#2

L5 2 - 2"X12" SP#2

L6 3 - 2"X12" SP#2

7 3 1/2" x 3 1/2" x 1/4" (90x90x6) L

_8 | 3 1/2" x 3 1/2" x 5/16"(90x90x8) L

L9 4" x 3 1/2" x 1/4" (100x90x6) L

10 5" x 3 1/2" x 5/16" (125x90x8)

1 5" x 3 1/2" x 3/8" (125x90x10)

CONC. 4-15m BARS OVER OPENING, EXTENDED

EAM 24" BELOW OPENING W/ 1RE 0m

STIR-UPS @ 12" O/C

L12 6" x 4" x 3/8" (150x100x10) L

OOR FRAMING INFORMATION REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF

REATER THAN 7'

DOOR SCHEDULE 4"X4"X1/4" H.S.S. W/ 6"X10"X1/2" BASE PLATE & 2-3/4" 2'-10" x 6'-8" - INSULATED ENTRANCE DOOR 2'-8" x 6'-8" - INSULATED FRONT DOORS 2'-8" x 6'-8" - WOOD & GLASS DOOR 6" X 6" X 3/8" THICK W/ 12" X 12" X 1/2" BASE PLATE 2'-8" x 6'-8" x 1-3/4" - EXTERIOR SLAB DOOR 3'-0" X 6'-8" X 1-3/4" - EXTERIOR SLAB DOOR 5" X 5" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-8" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR 4" X 4" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR 2'-2" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR M" 25KN/m2 - USE 4 BOLTS FOR MOMENT CONNECTION 1'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR WOOD/STEEL LINTELS WOOD BEAMS 2'-0" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR VB1 2 - 2"X8" SP#2 2-4" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

SECOND FLOOR GENERAL NOTES

ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN

- ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE

BOTH SIDES

TRIPLE STUDS @ CORNERS

RAMING INFORMATION

NOTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALI

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE

OTTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND

REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF

CONTRACTOR TO VERIFY ALL FLOOR & ROOF

RUSSES DIMENSIONS AND ENGINEERING ANY

DISCREPANCIES SHALL BE REPORTED TO 1 RISER

ESIGNS PRIOR TO CONSTRUCTION.

t is the builder's complete responsibility ensure that all plans submitted for approv ensure that all plans submitted for approve fully comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contra Architect is not responsible in any way for examining or approving site (lotting) plans covorking drawings with respect to any zoning obuilding code or permit matter or that an house can be properly built or located on its lot

Appendix C

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN O WILLIAMS LIMITED, ARCHITECT certify the the plans/drawings comply with the applicabl architectural control guidelines approved by th City of Markham and on file with the Desig

FLOOR AREA CALCULATION	NS EL	EV. A	FLOOF
GROUND FLOOR AREA	920	Sq. Ft.	GROUND I
SECOND FLOOR AREA	1377	Sq. Ft.	SECOND F
TOTAL FLOOR AREA	2297	Sq. Ft.	TOTAL FLO
1st FLOOR OPEN AREA	0	Sq. Ft.	1st FLOOR
2nd FLOOR OPEN AREA	0	Sq. Ft.	2nd FLOOF
ADD TOTAL OPEN AREAS	0	Sq. Ft.	ADD TOTA
ADD FIN. BASEMENT AREA	31	Sq. Ft.	ADD FIN. BAS
GROSS FLOOR AREA	2328.00	Sq. Ft.	GROSS FL
GROUND FLOOR COVERAGE	920	Sq. Ft.	GROUND I
GARAGE AREA	471	Sq. Ft.	GARAGE A
PORCH AREA	66	Sq. Ft.	PORCH AF
TOTAL COVERAGE W/ PORCH	1457	Sq. Ft.	TOTAL COVE
	135.36	Sq. m.	
TOTAL COVERAGE W/O PORCH	1391	Sq. Ft.	TOTAL COVE
	129.23	Sq. m.	

FLOOR AREA CALCULATIONS ELEV. B				
GROUND FLOOR AREA	920	Sq. Ft.		
SECOND FLOOR AREA	1378	Sq. Ft.		
TOTAL FLOOR AREA	2298	Sq. Ft.		
1st FLOOR OPEN AREA	0	Sq. Ft.		
2nd FLOOR OPEN AREA	0	Sq. Ft.		
ADD TOTAL OPEN AREAS	0	Sq. Ft.		
ADD FIN. BASEMENT AREA	31	Sq. Ft.		
GROSS FLOOR AREA	2329.00	Sq. Ft.		
GROUND FLOOR COVERAGE	920	Sq. Ft.		
GARAGE AREA	471	Sq. Ft.		
PORCH AREA	49	Sq. Ft.		
TOTAL COVERAGE W/ PORCH	1440	Sq. Ft.		
	133.78	Sq. m.		
TOTAL COVERAGE W/O PORCH	1391	Sq. Ft.		
	129.23	Sq. m.		

FLOOR AREA CALCULATION	NS EL	EV. C
GROUND FLOOR AREA	920	Sq. Ft.
SECOND FLOOR AREA	1365	Sq. Ft.
TOTAL FLOOR AREA	2285	Sq. Ft.
1st FLOOR OPEN AREA	0	Sq. Ft.
2nd FLOOR OPEN AREA	0	Sq. Ft.
ADD TOTAL OPEN AREAS	0	Sq. Ft.
ADD FIN. BASEMENT AREA	31	Sq. Ft.
GROSS FLOOR AREA	2316.00	Sq. Ft.
GROUND FLOOR COVERAGE	920	Sq. Ft.
GARAGE AREA	471	Sq. Ft.
PORCH AREA	66	Sq. Ft.
TOTAL COVERAGE W/ PORCH	1457	Sq. Ft.
	135.36	Sq. m.
TOTAL COVERAGE W/O PORCH	1391	Sq. Ft.
	129.23	Sq. m.

GLAZING CALCULATION CHART EL. A		
GRADE TO SECOND FLOOR	11.75 ft.	
SECOND FLOOR TO TOP OF PLATE	8.03 ft.	
GROUND FLOOR PERIMETER	160.33 ft.	
SECOND FLOOR PERIMETER	165.83 ft.	
TOTAL WALL AREA	3216.06 s.f.	
GLAZING FRONT ELEVATION	79.13 s.f.	
GLAZING LEFT SIDE ELEVATION	199.50 s.f.	
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.	
GLAZING REAR ELEVATION	161.26 s.f.	
TOTAL GLAZING AREA	455.89 s.f.	
ALLOWABLE GLAZING AREA	17 %	
GLAZING AREA	14.18%	

GLAZING CALCULATION CHA	GLAZING CALCULATION CHART EL. B		
GRADE TO SECOND FLOOR	11.75 ft.		
SECOND FLOOR TO TOP OF PLATE	8.03 ft.		
GROUND FLOOR PERIMETER	160.33 ft.		
SECOND FLOOR PERIMETER	165.83 ft.		
TOTAL WALL AREA	3216.10 s.f.		
GLAZING FRONT ELEVATION	101.16 s.f.		
GLAZING LEFT SIDE ELEVATION	249.50 s.f.		
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.		
GLAZING REAR ELEVATION	118.70 s.f.		
TOTAL GLAZING AREA	485.36 s.f.		
ALLOWABLE GLAZING AREA	17 %		
GLAZING AREA	15.09%		

GLAZING CALCULATION CHART EL. C				
GRADE TO SECOND FLOOR	11.75 ft.			
SECOND FLOOR TO TOP OF PLATE	8.03 ft.			
GROUND FLOOR PERIMETER	160.33 ft.			
SECOND FLOOR PERIMETER	165.83 ft.			
TOTAL WALL AREA	3216.10 s.f.			
GLAZING FRONT ELEVATION	77.33 s.f.			
GLAZING LEFT SIDE ELEVATION	243.77 s.f.			
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.			
GLAZING RIGHT SIDE ELEVATION GLAZING REAR ELEVATION	16.00 s.f. 118.70 s.f.			
GLAZING REAR ELEVATION	118.70 s.f.			

5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
RE	VISIONS		

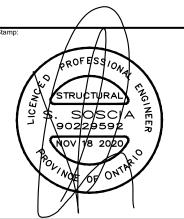
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FAX: 1 (866) 602-1163 WWW.ONERISER.CA

CONSTRUCTION NOTES

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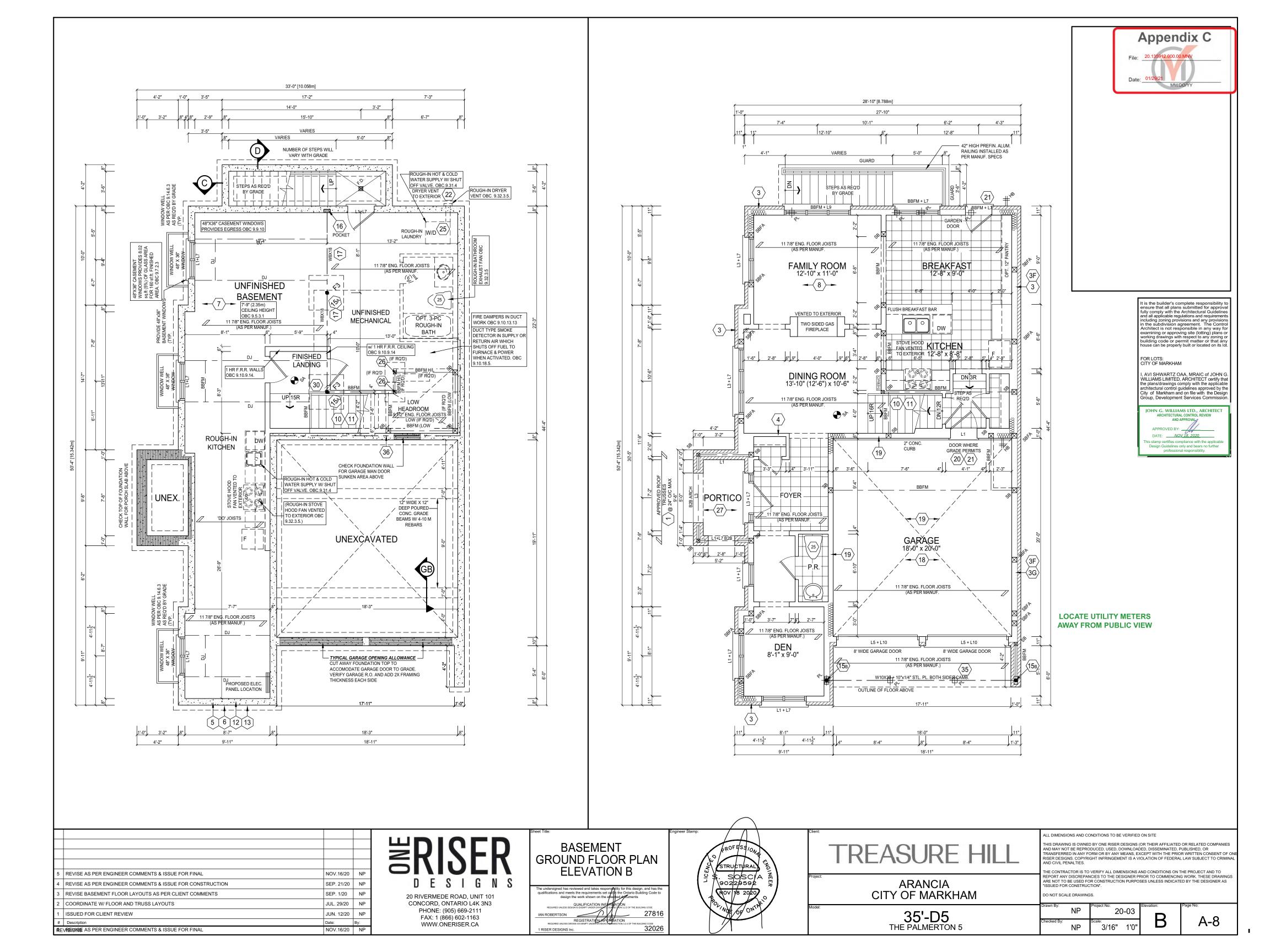
TREASURE HILL

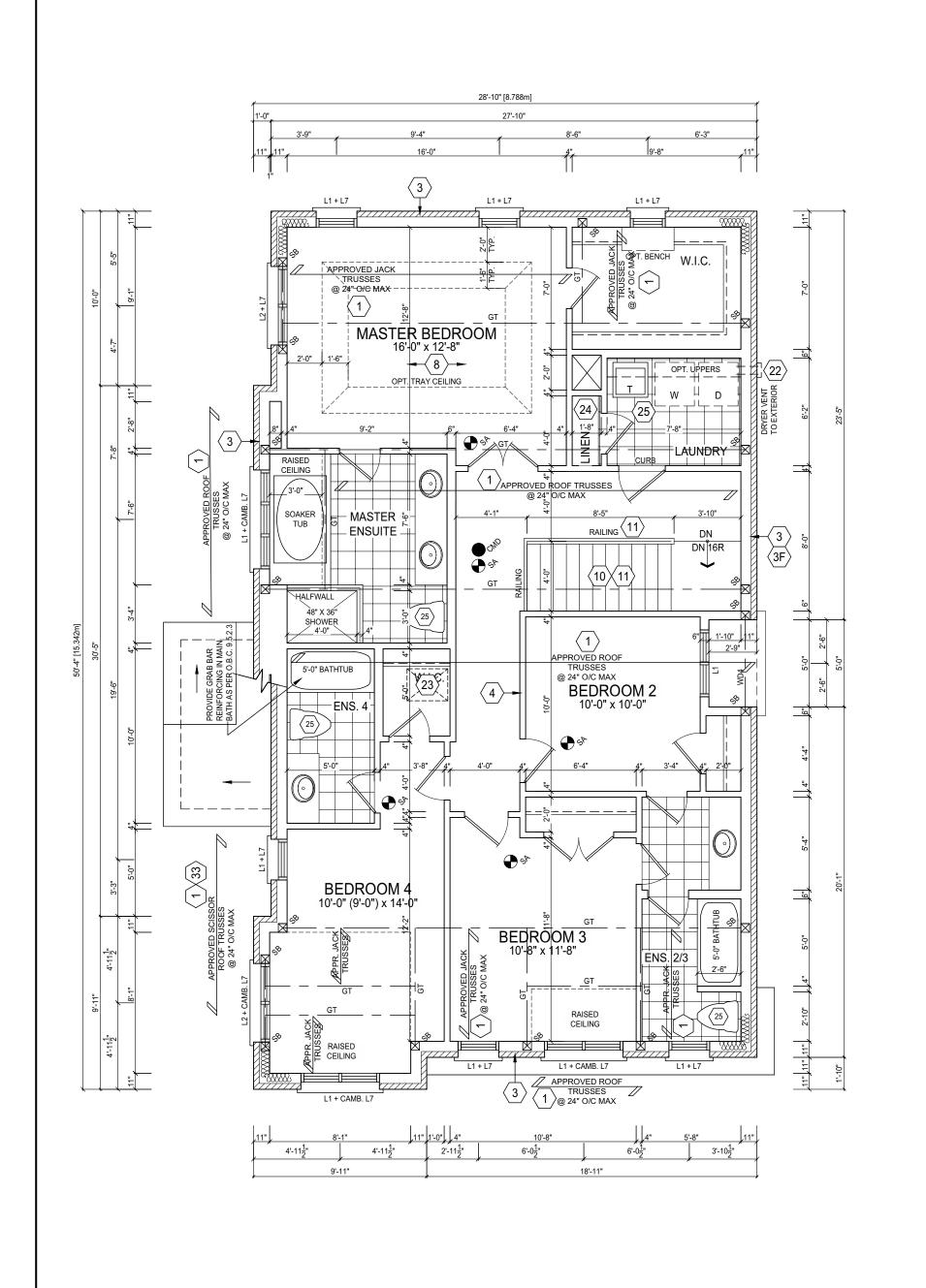
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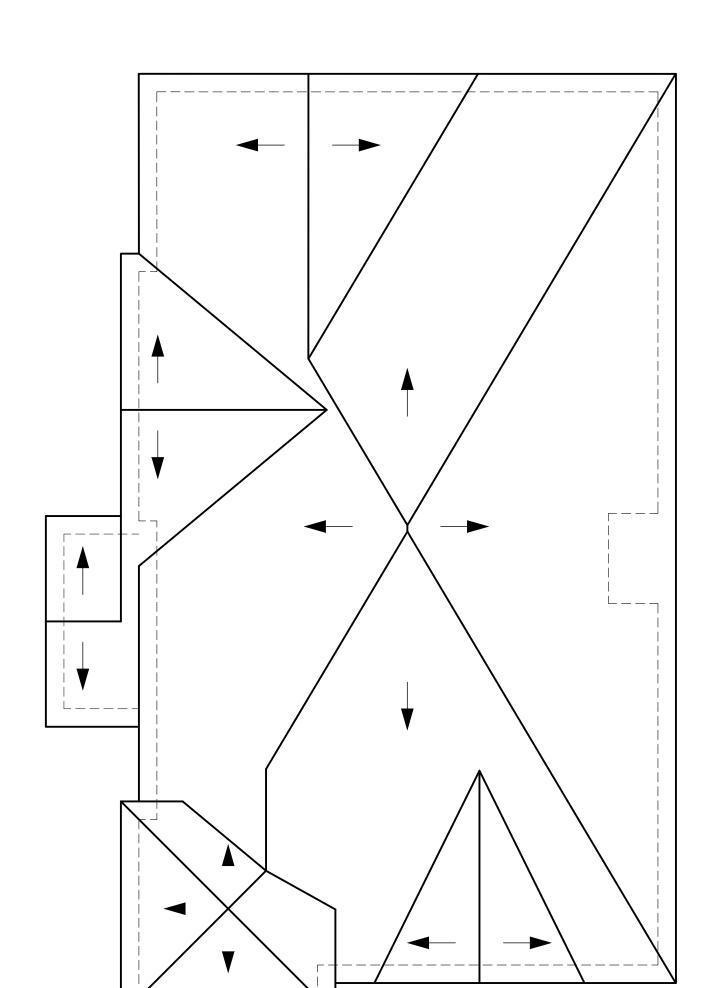
L DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SIT

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NP 20-03 35'-D5 THE PALMERTON 5 NP 3/16"







Appendix C

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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5 REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL

NOV.16/20 NP

4 REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION

SEP. 21/20 NP

3 REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS

COORDINATE W/ FLOOR AND TRUSS LAYOUTS

JUL. 29/20 NP

1 ISSUED FOR CLIENT REVIEW

JUN. 12/20 NP

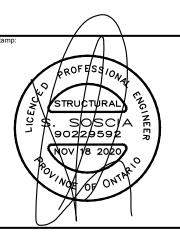
Description

Date: By:

ERISER

20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3 PHONE: (905) 669-2111 FAX: 1 (866) 602-1163 WWW.ONERISER.CA SECOND FLOOR ROOF PLAN ELEVATION B





TREASURE HILL

ARANCIA CITY OF MARKHAM

> 35'-D5 THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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not scale drawings.

n By:

NP

Project No:

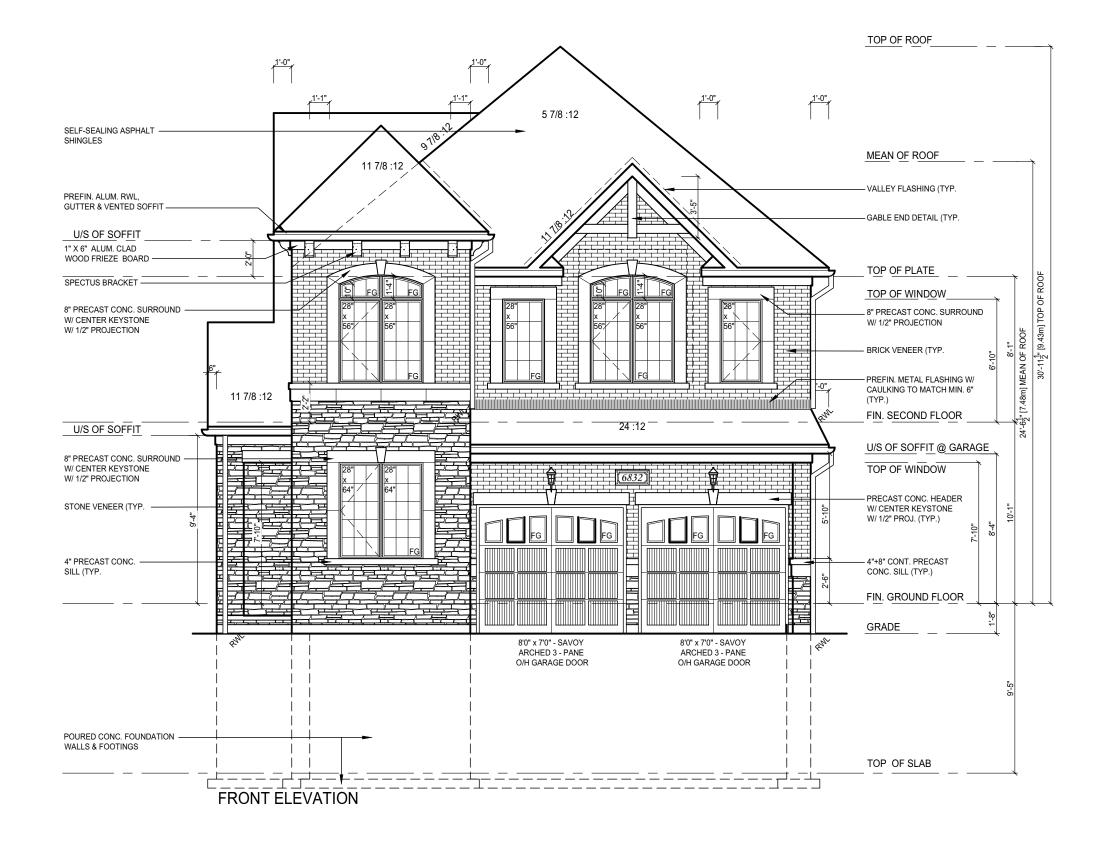
20-03

3/16" 1'0'

NP

B Pag





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JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL DATE: <u>NOV 18, 2020</u> his stamp certifies compliance with the applicate Design Guidelines only and bears no further

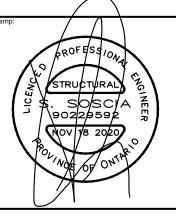
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
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TREASURE HILL

ARANCIA CITY OF MARKHAM

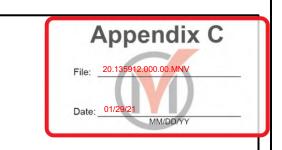
35'-D5 THE PALMERTON 5

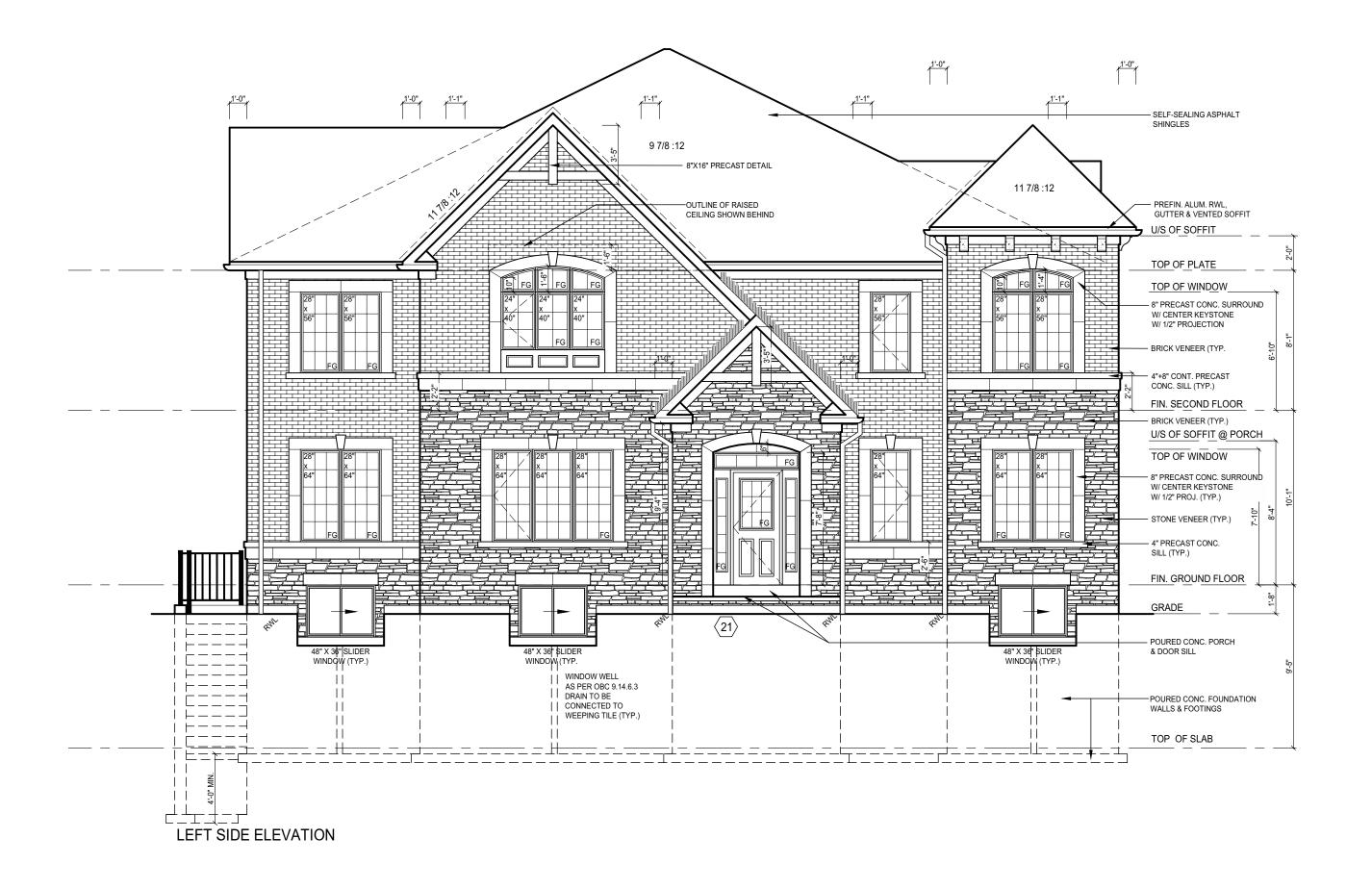
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NP 20-03 3/16" 1'0" NP





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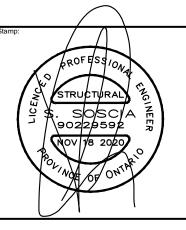
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1 RISER DESIGNS Inc



TREASURE HILL

ARANCIA CITY OF MARKHAM

> 35'-D5 THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON S

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 NP
 Project No:
 20-03

 Checked By:
 NP
 Scale:

 NP
 3/16"
 1'0"

B Page No:



NOTES

(LINI ESS OTHERWISE NOTED

SB-12

ONTARIO BUILDING CODE (OBC), ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION -ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC IN BRACKETS

TYPICAL FRAME CONSTRUCTION UNI ESS NOTED OTHERWISE -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS

-DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN EXTERIOR WALLS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m -DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m -DOUBLE JOISTS UNDER PARALLEL PARTITIONS -BEAM TO BE PLACED UNDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS -BEAM MAY BE A MAX. 24" (600mm) FROM A

LOADBEARING WALL WHEN THAT WALL IS
PERPENDICULAR TO FLOOR JOISTS -METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT

BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER -ALL STEEL BEAMS TO BE GRADE 350W LAMINATED VENEER LUMBER(LVL) TO BE GRADE 1.9E OR BETTER (MODULUS OF ELASTICITY, E 1.9X10⁶ psi TYPICAL ROOF CONSTRUCTION

-NO. 210 (30.5 kg/m2) ASPHALT SHINGLES -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTENT UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1'-0" (300mm) PAST THE INSIDE FACE OF THE -FAVES PROTECTION LAID BENEATH STARTER STRIP -STARTER STRIP AS PER OBC 9.26.7. (STARTER STRIF

NOT REQUIRED IF TYPE M ROLLED ROOFING IS USED FOR EAVES PROTECTION -3/8" (10mm) PLYWOOD SHEATHING OR OSB (O-2 GRADE) WITH "H" CLIPS

-APPROVED WOOD TRUSSES @ 24" O/C -TRUSS BRACING AS PER TRUSS MANUFACTURER -METAL EAVESTROUGH ON PREFINISHED ALUMINUM FASCIA & ALUMINUM VENTED SOFFIT -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT THE SOFFI

TYPICAL EXTERIOR SIDING WALL -VINYL SIDING (HORIZONTAL, VERTICAL, SHAKE OR -6" (150mm) BASE FLASHING UP BEHIND WALL

SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING *PROVIDE 1"X3" (25mmX75mm) STRAPPING @ 12" O/C HORIZ. UNDER SHEATING FOR VERTICAL SIDING ONLY -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -1/2" (12.7mm) GYPSUM BOARD

TYPICAL EXTERIOR STUCCO WALL -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER

-1/2" (12.7mm) GYPSUM BOARD EXTERIOR SIDING FIREWALL 45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE $\langle 2 \rangle$ WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

GARAGE WALLS
WALL ASSEMBLY THE SAME AS NOTE (2) WITH THE FOLLOWING EXCEPTIONS: -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O/C 2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIER

TYPICAL EXTERIOR BRICK / STONE VENEER WALL -3 1/2" (90mm) FACE BRICK OR 4" (100mm) STONE.

PROVIDE WEEP HOLES @ 2'-6" (800mm) @ BOTTOM COURSE & ABOVE ALL OPENINGS -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -1" (25mm) AIR SPACE -GALV. METAL BRICK TIES @ 24" (600mm) H.O.C. AND -3/8" (10mm) EXTERIOR TYPE SHEATHING

-2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -GALV. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

EXTERIOR BRICK / STONE VENEER FIREWALL 45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE (3) WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF

0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

-2"X4" (38mm X 89mm) STUDS @ 16" (400mm) O/C -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIEF INTERIOR STUD WALLS

*NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY

-8" (200mm) SOLID 2200psi (20MPa) CONCRETE

MAX. SUPPORTED HEIGHT OF 6'-11" (2150mm

-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm)

*NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY

-10" (250mm) SOLID 2200psi (25MPa) CONCRETE

-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm)

MEASURED FROM GRADE TO FINISHED BASEMENT

INSULATION ON INTERIOR SIDE OF FDN WALL.
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN.

WALLS SHALL BE WATERPROOFED AS PER OBC

9.13.5 (WALLS THAT ARE WATERPROOFED DO NOT

9.13.3.2 (FINISHED BASEMENTS SHALL HAVE

TO GRADE LEVEL & SHALL CONFORM TO OBC

-DRAINAGE LAYER SHALL BE PROVIDED IN

CONFORMANCE TO OBC 9.14.2.1(2)(3)(4

WEEPING TILE

SLAB & FTG.

-BITMINOUS DAMP PROOFING AS PER OBC 9.13.3.1

INTERIOR DAMPPROOFING EXTENDING FROM SLAB

-BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL -WALL

OTHER COURSE CLEAN GRANULAR MATERIAL AND

(0.15mm) POLYETHYLENE OR TYPE S ROLL ROOFING

W/12" (300mm) LAPPED JOINTS (DAMPPROOFING MAY

BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa

PROVIDE BOND BREAKING MATERIAL BETWEEN

-WHERE RADON EXISTS THE PERIMETER OF SLAB

AND ANY PENETRATIONS OF THE SLAB SHALL BE SEALED AGAINST SOIL GAS LEAKAGE WITH FLEXIBLE

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED

BASEMENT SLAB / SLAB ON GRADE

SLAB-DAMPPROOF BELOW SLAB W/MIN. 0.006"

COMPRESSIVE STRENGTH AFTER 28 DAYS

SEALANT CONFORMING TO O.B.C. 9.10.13.7

23 1/2" (600mm) OF BASEMENT SLAB EDGE.

INSULATION TO EXTEND TO NOT LESS THAN

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION AT

PERIMETER OF SLAB WHERE GRADE IS WITHIN

23 1/2" (600mm) BELOW EXTERIOR GRADE LEVEL

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION UNDER

ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN

16mm) T & G SPRUCE PLYWOOD OR

-FLOOR JOISTS AS PER FLOOR PLANS (JOISTS

-5/8" (15.8 mm) GYPSUM BOARD OR 1/2" CEILING

= 5" (125mm) = 7-7/8" (200mm)

= 10" (255mm)

= 2'-10" (860mm)

= 2'-11" (900mm)

= 7-7/8" (200mm)

3'-6" (1070mm

2'-11" (900mm

2'-11" (900mn

2'-11" (900mm

= 1" (25mm)

EQUIVALENT AS PER 9.23.14.5, 9.30.2.2, & 9.30.2.3,

SPACED @ 12" (300mm) O.C. UNDER CERAMIC TILE

IT SHALL CONFORM TO OBC 9.13.7.

(O.B.C. SB-12 - 3.1.1.7 (5)).

23 1/2" (600mm) OF GRADE

(O.B.C. SB-12 - 3.1.1.7 (6)).

FLOOR ASSEMBLY

9 CEILING -R-60 (RSI 10.56) INSULATION

-MAX, RISE

-MAX. NOSING

-MIN. WIDTH

-MIN. RUN

-MIN. AVG. RUN

-MIN. HEADROOM

(BETWEEN WALL FACES

FOR CURVED STAIRS

RAILINGS / GUARDS

INTERIOR STAIR

-FXTERIOR I ANDING

ON FULL BED OF MORTAR

(EXIT STAIRS, BETWEEN GUARDS

NOTE: FOR EXTERIOR CONC. STEPS

(GREATER THAN 2'0" (610mm) ABOVE GRADE

(GREATER THAN 5'11" (1800mm) ABOVE GRADE

-4" (100mm) MAX. BETWEEN WOOD PICKETS

12 SILL PLATE
2" X 4" (38mm X 89mm) SILL PLATE W/ 1/2" (12.7mm

DIA. ANCHOR BOLTS @ 7'-10" (2.4m) O.C. FASTENED
TO PLATE W/ NUTS AND WASHERS & SHALL BE

EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN

WALL SILL PLATE TO BE CAULKED OR PLACED ON

MINERAL WOOL OR FOAM GASKET NOT LESS THAN 1

(25mm) THICK BEFORE COMPRESSING, OR PLACED

-FOUNDATION WALL REQUIRED FOR 3 OR MORE

RISERS, FOOTING TO BE MIN. 4'-0" (1.22mm) BELOW

-6 MIL POLY AIR/VAPOUR BARRIER

STAIRS INTERIOR & EXTERIOR

-5" (100mm) OF 3/4" CLEAR STONE BASE

SHALL EXTEND A MIN. 6" (150mm) ABOVE GRADE

MAX. SUPPORTED HEIGHT OF 9'-4" (2850mm

-INSULATE W/ R-20 (RSI 3.52) CONTINUOUS

FOUNDATION WALL

SUPPORTED HEIGHT

SUPPORTED HEIGHT

2"X4" (38mm X 89mm) WOOD STUDS @ 16" (400mm EXTERIOR WALLS
-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE O.C. OR 2"X6" (38mm X 140mm) WOOD STUDS @ 16" -2 STOREY BRICK - 19" X 6" (485mm X 155mm) -DOUBLE 2"X4" (38mm X 89mm) OR (38mm X 140mm -3 STOREY BRICK - 26" X 9" (660mm X 230mm) 2"X6" TOP PLATES INTERIOR BEARING WALLS SUPPORTING SINGLE 2"X4" (38mm X 89mm) OR (38mm X 140mm 2"X6" BOTTOM PLATE 1/2" (13mm) INTERIOR GYPSUM BOARD BOTH SIDES

-2 STOREY MASONRY = 26" X 9" (650mm X 230mm) -2 STOREY STUD = 18" X 6" (450mm X 150mm) -3 STOREY MASONRY = 36" X 14" (900mm X 360mm) -3 STOREY STUD = 24" X 8" (600mm X 200mm) BEARING STUD WALL (BASEMENT

CONTINUOUS KEY, RESTING ON UNDISTURBED SOIL

ROCK OR COMPACTED GRANULAR FILL W/ MIN.

*FTG. SIZES MAY BE REDUCED FOR SOILS W

GREATER BEARING CAPACITY (AS PER SOILS

21 76psi (150kPa) BEARING CAPACITY

ENGINEERING REPORT)

-2"X4" (38mmX 89mm) WOOD STUDS OR 2"X6" (38mmX 40mm) WOOD STUDS @ 12" (300mm) O.C. -DOUBLE 2"X4" OR 2"X6" TOP PLATE MEASURED FROM GRADE TO FINISHED BASEMENT -2"X4" OR 2"X6" SILL PLATE ON DAMPPROOFING MATERIAL -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 8'-0" (2.4m) O.C. -FOOTING AS PER 13 W/ 4" CONC. CURE

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3 -3 1/2" (89mm) DIA. X 0.118 (4.78mm) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 16000 LBS (71.2 kN) AT A MIN. EXTENSION OF 7'-7 1/2" (2318mm) CONFORMING TO CAN/CGSB-7.2-94, AND W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3 2" (89mm) DIA. X 0.188 (4.78mm) FIXED STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 24000 LBS (108.6 kN) W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15 MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN 2" (89mm) DIA. X 0.188 (4.78mm) NON-ADJUSTABLE STEEL COLUMN W/ 6"X6"X3/8" (150X150X9.5) STEEL TOP PLATE & 4 1/2"X10"X1/2" (120X250X12.5) STEEL BOTTOM 4" (100mm) DIA, WEEPING TILE LAID ON UNDISTURBED OR WELL COMPACTED SOIL. TOP OF WEEPING TILE TO PLATE W/ 2-1/2"DIA X12"X2" (2-12mm DIA X300mmX50m BE BELOW BTM. OF FLR. SLAB. COVER TOP & SIDES OF WEEPING TILE W/ 6" (150mm) OF CRUSHED STONE OR HOOK ANCHORS, FIELD WELD COLUMN TO BASE PLATE PILASTERS / BEAM POCKETS DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

X 8" (200mm X 200mm) POURED CONCRETE PEIR **BEAM POCKET** " (100mm) RECESSED INTO FDN. WALL, WIDTH TO MATCH BEAM SIZE W/ 1/2" (12.7mm) SPACE AROUND WOOD BEAMS STEEL BEAM WOOD PLATE / STRAPPING

-2"X6" PLATE BOLTED OR RAMSET TO STEEL BEAM FLANGE @ 16" O/C. JOISTS TO BE TOE NAILED TO PLATE. -1"X4" (19mm X 38mm) WOOD STRAPPING ON BOTH SIDES OF STEEL BEAM GARAGE SLAB

-4"(100mm) CONCRETE SLAB, 4650psi (32MPa COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB . OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED GARAGE WALL & CEILING

-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE & GARAGE -TAPE AND SEAL ALL JOINTS GAS TIGHT -R22 (RSI 3.87) BATT INSULATION IN WALLS -R31 (RSI 5.46) SPRAY FOAM INSULATION IN CEILINGS W/ FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 & 9.25.4 FOR FLOOR ABOVE

GARAGE MAN DOOR TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEADBOLT

21 PRECAST CONC. STEP -2 RISERS PERMITTED TO BE LAID ON GROUND MAX.

22 CAPPED DRYER VENT OBC 9.32.1.3(3

ATTIC ACCESS HATCH 23 ATTIC ACCESS HATCH
-19 3/4" X 27 1/2" (500mmx700mm) ATTIC HATCH W/ WEATHER STRIPPING & BACKED W/ R40 (RSI 7.0) INSULATION

24 LINEN CLOSET -4 SHELVES MIN. 1'-2" (350mm) DEEP

-ROOM TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR - SEALED W/ ALUM.

26 WOOD COLUMN -6" X 6" (140mm X 140mm) SOLID No.1 SPF -METAL SHOE ANCHORED TO ETG. -25" X 25" X 12" (640mmX 640mmX 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9'-10" COL. SPACING 34" X 34" X 14" (860mmX 860mmX 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9'-10" COL. SPACING

PORCH SLAB "(100mm) CONCRETE SLAB, 4650psi (32MPa COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB -ANY FILL PLACED UNDER SLAB . OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED PORCH SLAB ABOVE COLD CELLAR

FOR PORCHES LESS THAN 8'0" DEEP -5" (130mm) 4650psi (32 MPa) CONC. SLAB W/ 5-8% AIR ENTRAINMENT -REINFORCE W/ 10M BARS @ 8" (200mm) O.C. EACH WAY PLACED IN BTM. THIRD OF SLAB -24"X24" (600X600mm) 10M DOWELS @ 16" (400mm O.C. ANCHORED IN PERIMETER OF FDN. WALLS -SLOPE SLAB MIN. 1.5% TO EXTERIOR -PROVIDE L1+L7 LINTELS OR 2 - L7's BACK TO BACK OVER COLD CELLAR DOORS

1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS RIDGING @ MAX. 6'-11" (2.1m) O.C.

STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" -FASTED TO SILL OR HEADER @ ENDS

29 BLOCK VENEER WALL mm) CONCRETE BLOCK TO SUPPORT BRICK ABOVE. WALL AS PER NOTE (3) EXCEPT NO WEEP HOLES 30 WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN

CONTACT WITH GROUND OR FILL SHALL BE PRESSURE

TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE OR No.15 ROLL ROOFING POUBLE VOLUME WALL FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. FOR HORIZ. DISTANCES NOT EXCEEDING 2900mm (9'-6") PROVIDE

38x140 (2"x6") STUDS @400mm (16") o.c. WITH A CONTINUOUS HEADER AT THE GROUND FLOOR CEILING LEVEL TOENAILED AND GLUED TO THE TOP PLATES. 1/2" EXT. PLYWOOD CONVENTIONAL ROOF & CEILING FRAMING -2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O -2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm O.C. UNLESS OTHERWISE NOTED

COMMON RAFTERS & MIN. 1-1/2" (38mm) THICK VAULTED OR CATHEDRAL CEILING 2" (38mm) CROSS PURLINS -R31 (RSI 5.46) INSULATION, 3" (75mm) MIN. CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7 mm) GYPSUM BOARD

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN

WALLS ADJACENT TO ATTIC SPACE -1/2" (13mm) GYPSUM BOARD -6 MIL POLY AIR/VAPOUR BARRIER -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" -R22 (RSI 3.87) BATT INSULATION -7/16" (11mm) OSB SHEATHING ON ATTIC SIDE

EXPOSED CANTILEVERED FLOOR -6 MIL POLY AIR/VAPOUR BARRIEF -R31 (RSI 5.46) SPRAY FOAM INSULATION -VENTED ALUMINUM SOFFIT

UNSUPPORTED FDTN. WALLS @ OPENINGS & SUNKEN AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" LINSUPPORTED WALL LENGTH -3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" LINSUPPORTED WALL LENGTH -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" UNSUPPORTED WALL LENGTH -BARS STACKED VERTICALLY @ INTERIOR FACE OF WALL SPACED 5" O.C. W/ 2" (50mm) CONCRETE COVER & EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

PROPOSED ELECTRICAL PANEL LOCATION PROVIDE 2" X 4" SP#2 SUPPORT WALL ON INSIDE FACE
OF CI BEHIND ELECTRICAL PANEL (PANEL LOCATION MAY

39 ABOVE COOKTOP FIRE PROTECTION -FRAMING, FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE A MIN. 2'-6" (750mm) CLEARANCE, UNLESS FRAMING FINISHES AND CABINETRY ARE NON-COMBUSTIBLE, OR ARE PROTECTED AS PER 9 10 22 2(2)(b)(i) AND (ii) (WHERE 24" mm) CLEAR REQ'D). MINIMUM 18" (450mm) BETWEEN COMBUSTIBLE FRAMING, FINISHES AND CABINETRY FROM WHERE THE RANGE IS TO BE LOCATED, PROTECTED BY MINIMUM 3/8" (9.5mm) GYPSUM BOARD, (NOT REQ'D WHERE COUNTER TOP SPLASH BOARDS OR BACK PLATES ARE

SMOKE ALARM (O.B.C - 9.10.19. PROVIDE 1 IN EACH BEDROOM PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS ALARMS TO BE CONNECTED IN CIRCUIT AND ITERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF NY ONE OF THEM SOUNDS. ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE OWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, OLLOWED BY 4 MINUTES OF ALARM

SMOKE ALARMS SHALL HAVE A VISUAL COMPONENT AS PER ARBON MONOXIDE ALARM (O.B.C. - 9.33.4. E PROVIDED ADJACENT TO EACH SLEEPING AREA. CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS HEN ACTIVATED. VHERE A STORAGE GARAGE IS ATTACHED OR BUILT-IN, A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING

MINIMUM 3-2"X6" OR 3-2"X4" BUILT UP COLUMN TO MATCH WALL THICKNESS. SQUASH BLOCKS TO BE PROVIDED TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM

BUILT UP COLUMNS TO BE NAILED WITH 1 ROW FOR 2"X4" COLUMNS AND 2 ROWS STAGGERED FOR 2"X6" COLUMNS AT 8 1/2" O/C. NAIL LENGTH TO MATCH BUILT UP COLUMN

BASEMENT GENERAL NOTES - ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING

STRUCTURAL STEEL MEMBERS AND INSERTS SHALL BE

CSA G.40.21-M350 AND EMBEDDED PLATES SHALL BE

EQUALLY ON BOTH SIDES OF GARAGE FOUNDATION

BACKELL SHALL BE PLACED AND COMPACTED

- ALL EXPOSED CONCRETE TO BE 32 Mpa W/ 5-7%

ALL FOOTINGS TO HAVE MIN. 2-15M BARS CONT.

- WHEN VENEER CUT IS GREATER THAN 26" A 10"

POURED CONC. FDTN. WALL IS REQUIRED

PAD FOOTING SCHEDULE

24"x24"x12" POURED CONC. PAD

2 36"x36"x16" POURED CONC. PAD

3 42"x42"x19" POURED CONC. PAD

4 48"x48"x22" POURED CONC. PAD

5 54"x54"x25" POURED CONC. PAD

6 60"x60"x28" POURED CONC. PAD

ASSUME SOIL BEARING CAPACITY 150 Kpa

AFTER 28 DAYS.

GENERAL PURPOSE STEEL.

WALLS TO AVOID LATERAL LOADING.

GROUND FLOOR GENERAL NOTES ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOW D BE A MIN. OF 2-2"X8" SPF# CAPACITY OF 150 KPA. (3135 PSF). (TO BE SITE VERIFIED AND SHALL BE A MIN. OF 4'0" BELOW FINISHED GRADE. CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL BOTH SIDES HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA

ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE TED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALI PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE

TTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND TRIPLE STUDS @ CORNERS

REFER TO ELOOR TRUSS SHOP DRAWINGS FOR ALL OOR FRAMING INFORMATION

REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.

ELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW

RIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS

CONTRACTOR TO VERIEY ALL FLOOR & ROOF RUSSES, DIMENSIONS AND ENGINEERING. ANY

REATER THAN 7' DISCREPANCIES SHALL BE REPORTED TO 1 RISER DESIGNS PRIOR TO CONSTRUCTION. STEEL COLUMN SCHEDULE DOOR SCHEDULE 4"X4"X1/4" H.S.S. W/ 6"X10"X1/2" BASE PLATE & 2-3/4" 2'-10" x 6'-8" - INSULATED ENTRANCE DOOR DIA. ANCHOR BOLTS W/ 4 BOLTS 2'-8" x 6'-8" - INSULATED FRONT DOORS 3 1/2"DIA. 1/4" THICK W/ 10"X10"X1/2" BASE PL. W/ 2'-8" x 6'-8" - WOOD & GLASS DOOR 2-3/4" 4 - 1 DIA. ANCHOR BOLTS 6" X 6" X 3/8" THICK W/ 12" X 12" X 1/2" BASE PLATE 2'-8" x 6'-8" x 1-3/4" - EXTERIOR SLAB DOOR @ 4 - 3/4" DIA. ANCHOR BOLTS 3'-0" X 6'-8" X 1-3/4" - EXTERIOR SLAB DOOR 5" X 5" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-8" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR @ 4 - 3/4" DIA. ANCHOR BOLTS 2'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR 4" X 4" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-2" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

SECOND FLOOR GENERAL NOTES

O BE A MIN. OF 2-2"X8" SPF#2

TRIPLE STUDS @ CORNERS

RAMING INFORMATION

BOTH SIDES

ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN

- ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE

NOTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALI

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE

OTTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND

REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF

CONTRACTOR TO VERIFY ALL FLOOR & ROOF

TRUSSES DIMENSIONS AND ENGINEERING ANY

DISCREPANCIES SHALL BE REPORTED TO 1 RISER

1'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

2'-0" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

2-4" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

ESIGNS PRIOR TO CONSTRUCTION.

ГО ВЕ	SITE VERI	FIED	C5 (@4-	· 3/4" DIA. ANCHOR BOLTS		
			"M" 2	25KN	I/m2 - USE 4 BOLTS FOR MO	MENT	CONNECTION
REBAR NOTES		WC	00	D/STEEL LINTELS	WO	OD BEAM	
3.L.L	воттом	LOWER LEVEL	L1	2 - 2	2"X8" SP#2	WB1	2 - 2"X8" SP#2
3.U.L	воттом	UPPER LEVEL	L2	3 - 2	2"X8" SP#2	WB2	3 - 2"X8" SP#2
Γ.U.L	TOP UPPE	ER LEVEL	L3	2 - 2	2"X10" SP#2	WB3	4 - 2"X8" SP#2
Г.А.А.	TOP ALL	AROUND	L4	3 - 2	2"X10" SP#2	WB4	2 - 2"X10" SP#
3.E.W	воттом	EACH WAY	L5	2 - 2	2"X12" SP#2	WB5	3 - 2"X10" SP#
WAL	L LEG	END	L6	3 - 2	2"X12" SP#2	WB6	4 - 2"X10" SP#
		L7	3 1/	2" x 3 1/2" x 1/4" (90x90x6) L	WB7	2 - 2"X12" SP#	
		VARYING WALL HEIGHT	L8	3 1/	2" x 3 1/2" x 5/16"(90x90x8) L	WB8	3 - 2"X12" SP#
KX	XXXI	DOUBLE VOLUME WALL	L9	4" x	3 1/2" x 1/4" (100x90x6) L	WB9	4 - 2"X12" SP#
KX		DOUBLE VOLUME WALL	L10	5" x	3 1/2" x 5/16" (125x90x8) L		
77	777	LOAD BEARING WALL	L11	5" x	3 1/2" x 3/8" (125x90x10) L		
$\angle \angle$		LOAD BEARING WALL	L12	6" x	4" x 3/8" (150x100x10) L		
			CON BEA		4-15m BARS OVER OPENIN 24" BELOW OPENING W/ 1F STIR-UPS @ 12" O/C		TENDED

Appendix C

t is the builder's complete responsibility ensure that all plans submitted for approv ensure that all plans submitted for approve fully comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contra Architect is not responsible in any way for examining or approving site (lotting) plans covorking drawings with respect to any zoning obuilding code or permit matter or that an house can be properly built or located on its lot

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN O WILLIAMS LIMITED, ARCHITECT certify the the plans/drawings comply with the applicabl architectural control guidelines approved by th City of Markham and on file with the Desig

FLOOR AREA CALCULATIONS ELEV. A				
GROUND FLOOR AREA	920	Sq. Ft.		
SECOND FLOOR AREA	1377	Sq. Ft.		
TOTAL FLOOR AREA	2297	Sq. Ft.		
1st FLOOR OPEN AREA	0	Sq. Ft.		
2nd FLOOR OPEN AREA	0	Sq. Ft.		
ADD TOTAL OPEN AREAS	0	Sq. Ft.		
ADD FIN. BASEMENT AREA	31	Sq. Ft.		
GROSS FLOOR AREA	2328.00	Sq. Ft.		
GROUND FLOOR COVERAGE	920	Sq. Ft.		
GARAGE AREA	471	Sq. Ft.		
PORCH AREA	66	Sq. Ft.		
TOTAL COVERAGE W/ PORCH	1457	Sq. Ft.		
	135.36	Sq. m.		
TOTAL COVERAGE W/O PORCH	1391	Sq. Ft.		
	129.23	Sq. m.		

FLOOR AREA CALCULATIONS ELEV. B					
GROUND FLOOR AREA	920	Sq. Ft.			
SECOND FLOOR AREA	1378	Sq. Ft.			
TOTAL FLOOR AREA	2298	Sq. Ft.			
1st FLOOR OPEN AREA	0	Sq. Ft.			
2nd FLOOR OPEN AREA	0	Sq. Ft.			
ADD TOTAL OPEN AREAS	0	Sq. Ft.			
ADD FIN. BASEMENT AREA	31	Sq. Ft.			
GROSS FLOOR AREA	2329.00	Sq. Ft.			
GROUND FLOOR COVERAGE	920	Sq. Ft.			
GARAGE AREA	471	Sq. Ft.			
PORCH AREA	49	Sq. Ft.			
TOTAL COVERAGE W/ PORCH	1440	Sq. Ft.			
	133.78	Sq. m.			
TOTAL COVERAGE W/O PORCH	1391	Sq. Ft.			
	129.23	Sq. m.			

FLOOR AREA CALCULATIO	NS	EL	EV. C
GROUND FLOOR AREA		920	Sq. Ft.
SECOND FLOOR AREA		1365	Sq. Ft.
TOTAL FLOOR AREA		2285	Sq. Ft.
1st FLOOR OPEN AREA		0	Sq. Ft.
2nd FLOOR OPEN AREA		0	Sq. Ft.
ADD TOTAL OPEN AREAS		0	Sq. Ft.
ADD FIN. BASEMENT AREA		31	Sq. Ft.
GROSS FLOOR AREA		2316.00	Sq. Ft.
GROUND FLOOR COVERAGE		920	Sq. Ft.
GARAGE AREA		471	Sq. Ft.
PORCH AREA		66	Sq. Ft.
TOTAL COVERAGE W/ PORCH		1457	Sq. Ft.
		135.36	Sq. m.
TOTAL COVERAGE W/O PORCH		1391	Sq. Ft.
		129.23	Sq. m.

GLAZING CALCULATION CHA	ART EL. A
GRADE TO SECOND FLOOR	11.75 ft.
SECOND FLOOR TO TOP OF PLATE	8.03 ft.
GROUND FLOOR PERIMETER	160.33 ft.
SECOND FLOOR PERIMETER	165.83 ft.
TOTAL WALL AREA	3216.06 s.f.
GLAZING FRONT ELEVATION	79.13 s.f.
GLAZING LEFT SIDE ELEVATION	199.50 s.f.
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.
GLAZING REAR ELEVATION	161.26 s.f.
TOTAL GLAZING AREA	455.89 s.f.
ALLOWABLE GLAZING AREA	17 %
GLAZING AREA	14.18%

GLAZING CALCULATION CHART EL. B				
GRADE TO SECOND FLOOR	11.75 ft.			
SECOND FLOOR TO TOP OF PLATE	8.03 ft.			
GROUND FLOOR PERIMETER	160.33 ft.			
SECOND FLOOR PERIMETER	165.83 ft.			
TOTAL WALL AREA	3216.10 s.f.			
GLAZING FRONT ELEVATION	101.16 s.f.			
GLAZING LEFT SIDE ELEVATION	249.50 s.f.			
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.			
GLAZING REAR ELEVATION	118.70 s.f.			
TOTAL GLAZING AREA	485.36 s.f.			
ALLOWABLE GLAZING AREA	17 %			
GLAZING AREA	15.09%			

GLAZING CALCULATION CHA	ART EL. C
GRADE TO SECOND FLOOR	11.75 ft.
SECOND FLOOR TO TOP OF PLATE	8.03 ft.
GROUND FLOOR PERIMETER	160.33 ft.
SECOND FLOOR PERIMETER	165.83 ft.
TOTAL WALL AREA	3216.10 s.f.
GLAZING FRONT ELEVATION	77.33 s.f.
GLAZING LEFT SIDE ELEVATION	243.77 s.f.
GLAZING RIGHT SIDE ELEVATION	16.00 s.f.
GLAZING REAR ELEVATION	118.70 s.f.
TOTAL GLAZING AREA	455.80 s.f.
ALLOWABLE GLAZING AREA	17 %

5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
RE	VISIONS		

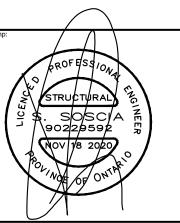
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CONSTRUCTION NOTES

27816 32026 1 RISER DESIGNS In



TREASURE HILL

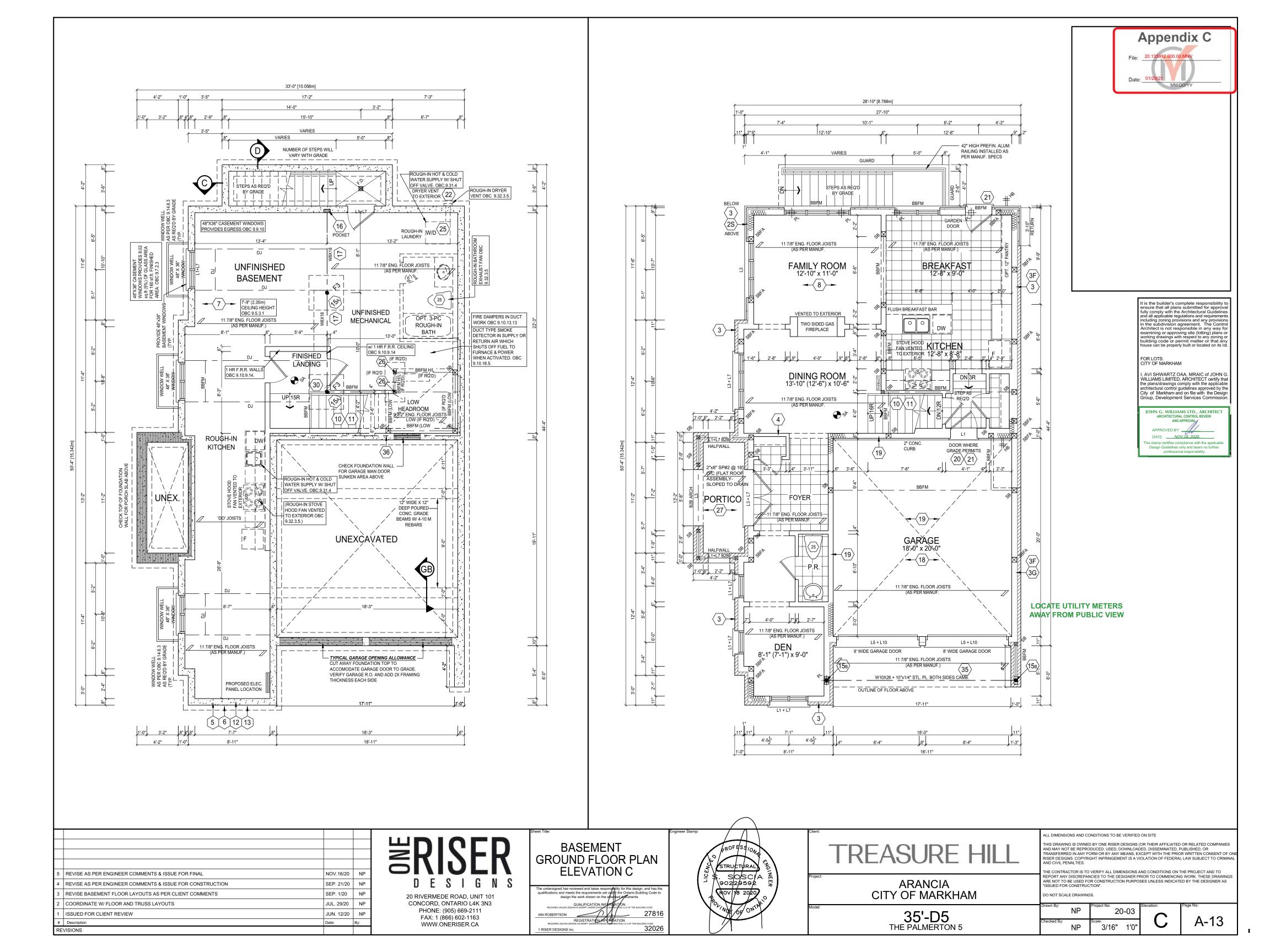
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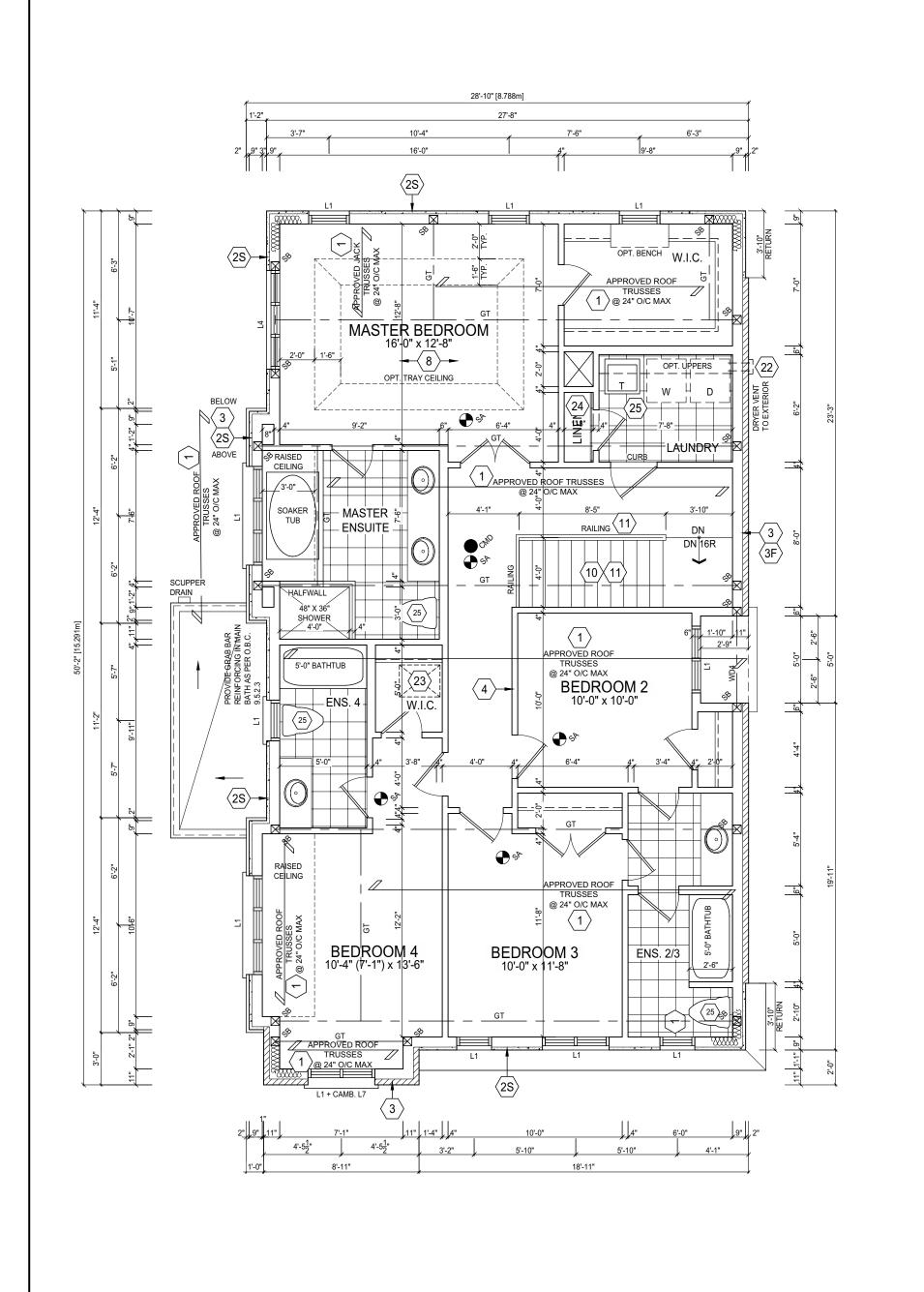
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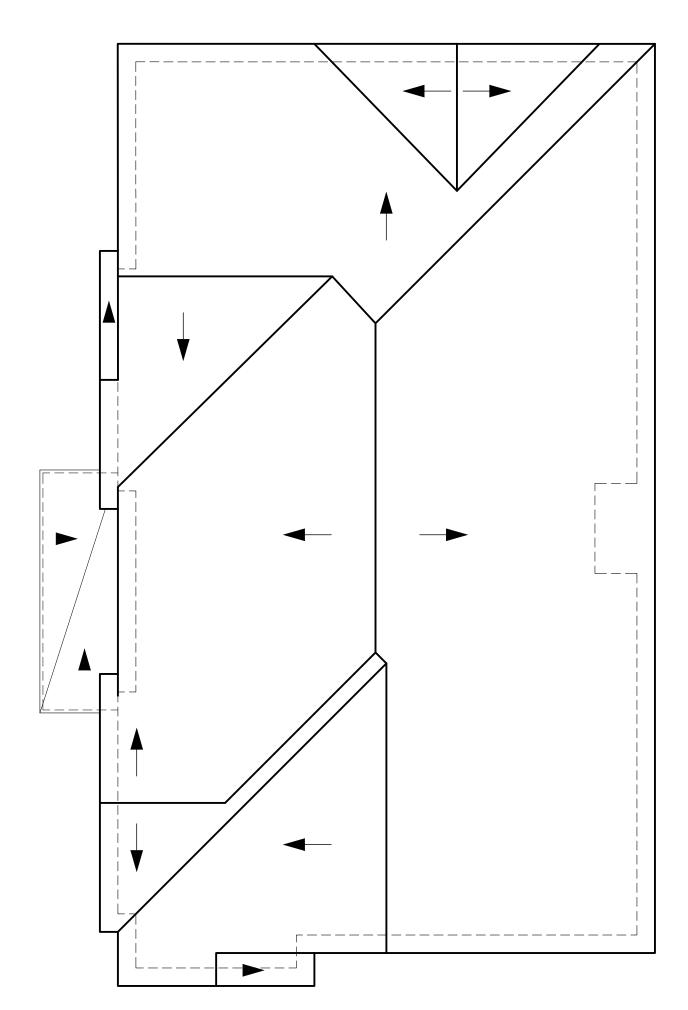
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NP 20-03 35'-D5 THE PALMERTON 5

NP 3/16"







Appendix C

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN G WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

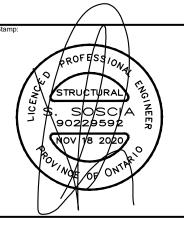
APPROVED BY:

DATE: NOV.18.2020.

ERISER

20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3 PHONE: (905) 669-2111 FAX: 1 (866) 602-1163 WWW.ONERISER.CA SECOND FLOOR ROOF PLAN ELEVATION C





TREASURE HILL

ARANCIA CITY OF MARKHAM

> 35'-D5 THE PALMERTON 5

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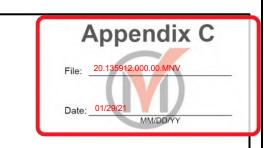
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n By: NP Project No: 20-03

NP

20-03 Elevation: 3/16" 1'0"



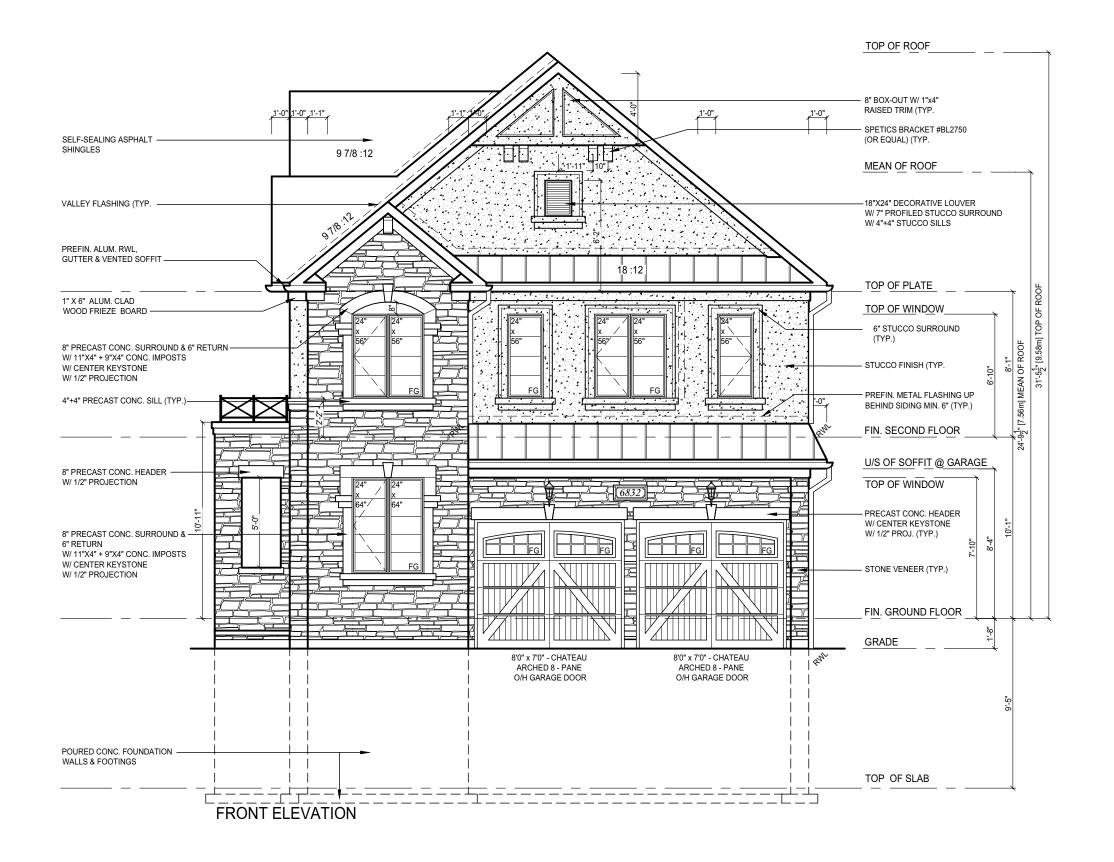
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JOHN G. WILLIAMS LTD., ARCHITECT AND APPROVAL

his stamp certifies compliance with the applicab Design Guidelines only and bears no further

DATE: <u>NOV 18, 2020</u>

FOR LOTS: CITY OF MARKHAM



FRONT ELEVATION C SOSCA 90229592 REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL NOV.16/20 NP SEP. 21/20 NP REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS SEP. 1/20 NP 20 RIVERMEDE ROAD, UNIT 101 JUL. 29/20 NP CONCORD, ONTARIO L4K 3N3 PHONE: (905) 669-2111 27816 JUN. 12/20 NP

1 RISER DESIGNS Inc

FAX: 1 (866) 602-1163

WWW.ONERISER.CA

COORDINATE W/ FLOOR AND TRUSS LAYOUTS

ISSUED FOR CLIENT REVIEW

Description

TREASURE HILL ARANCIA CITY OF MARKHAM

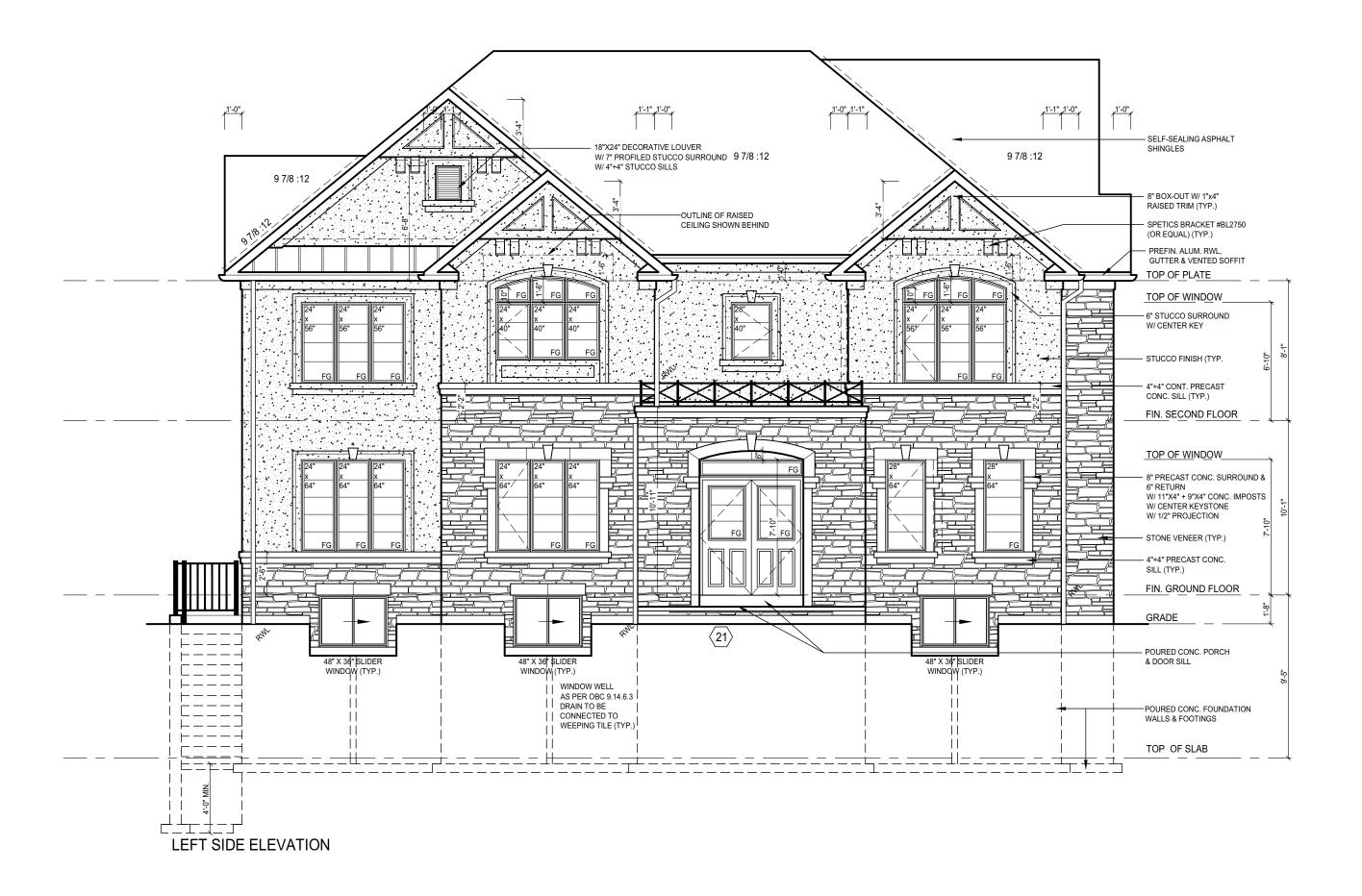
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NP 20-03 35'-D5 THE PALMERTON 5 NP 3/16" 1'0'





FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN G WILLIAMS LIMITED, ARCHITECT certify tha the plans/drawings comply with the applicable architectural control guidelines approved by th City of Markham and on file with the Design Group, Development Services Comm

JOHN G. WILLIAMS LTD., ARCHITECT

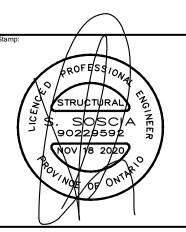
DATE: <u>NOV 18, 2020</u> s stamp certifies compliance with the applica

REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL NOV.16/20 REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION SEP. 21/20 NP REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS SEP. 1/20 NP COORDINATE W/ FLOOR AND TRUSS LAYOUTS JUL. 29/20 NP ISSUED FOR CLIENT REVIEW JUN. 12/20 NP # Description

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LEFT SIDE ELEVATION C





TREASURE HILL

ARANCIA CITY OF MARKHAM

35'-D5 THE PALMERTON 5

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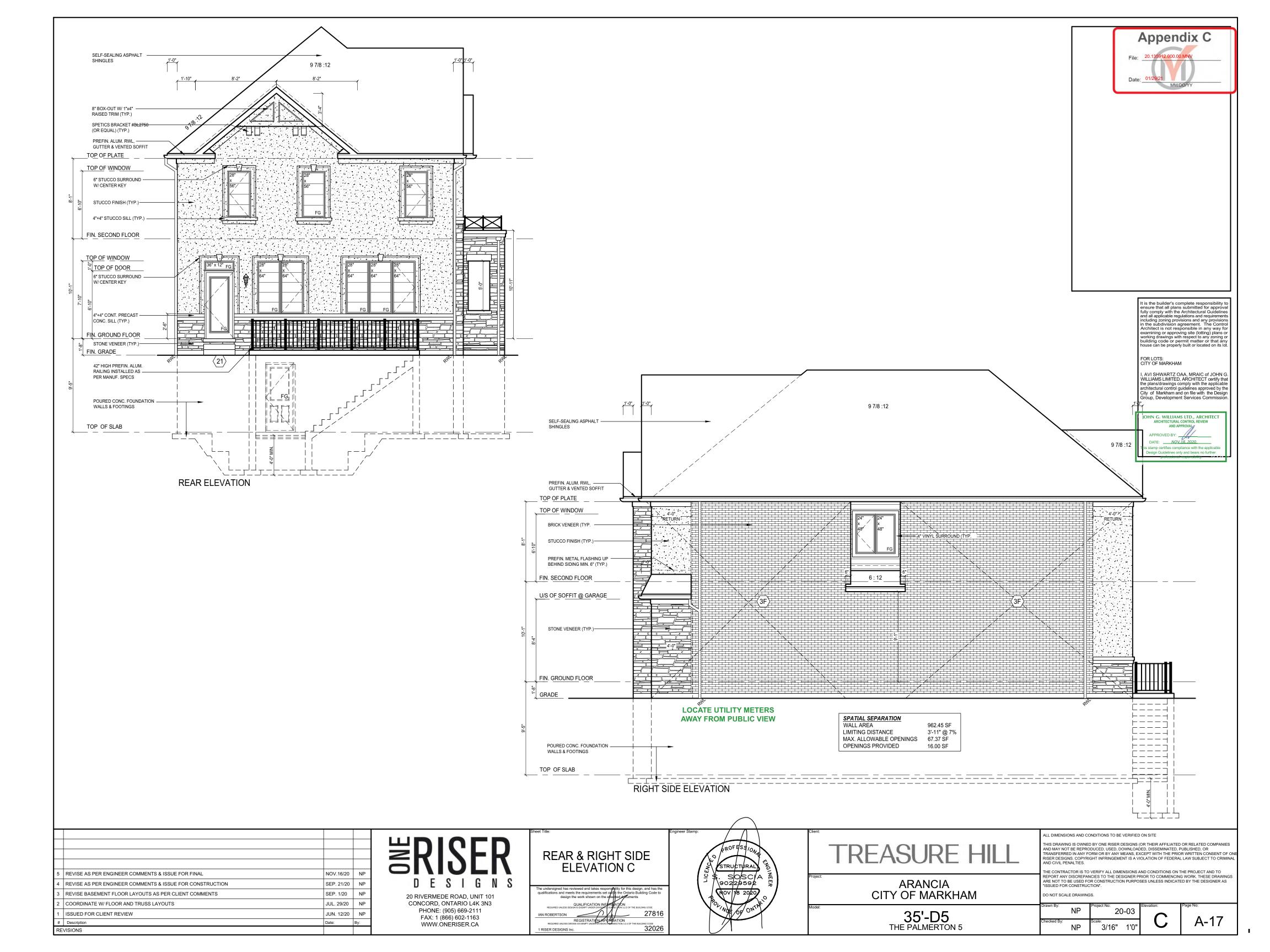
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NP 20-03

NP

3/16" 1'0'



CONSTRUCTION NOTES

(UNLESS OTHERWISE NOTED)

SB-12

-ALL CONSTRUCTION TO COMPLY WITH THE 2013 ONTARIO BUILDING CODE (OBC), ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION. -ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC IN BRACKETS.

TYPICAL FRAME CONSTRUCTION FRAMING LUMBER TO BE No.1 AND No. 2 SPF

UNLESS NOTED OTHERWISE -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS -DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN

EXTERIOR WALLS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m) -DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m -DOUBLE JOISTS UNDER PARALLEL PARTITIONS -REAM TO BE PLACED LINDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS -BEAM MAY BE A MAX 24" (600mm) FROM A LOADBEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS -METAL HANGERS TO BE USED FOR JOISTS AND BEAMS

WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS TO GRADE LEVEL & SHALL CONFORM TO OBC AND HEADERS -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT 9.13.3.3(3)-DRAINAGE LAYER SHALL BE PROVIDED IN BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT CONFORMANCE TO OBC 9.14.2.1(2)(3)(4)) BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER ALL STEEL BEAMS TO BE GRADE 350W -LAMINATED VENEER LUMBER(LVL) TO BE GRADE 1.9E

OR BETTER (MODULUS OF ELASTICITY, E=1.9X10⁶ psi) TYPICAL ROOF CONSTRUCTION -NO. 210 (30.5 kg/m2) ASPHALT SHINGLES -FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE

EAVES PROTECTION TO EXTENT UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1'-0" (300mm) PAST THE INSIDE FACE OF THE EXTERIOR WALL -EAVES PROTECTION LAID BENEATH STARTER STRIP

-STARTER STRIP AS PER OBC 9.26.7. (STARTER STRIP NOT REQUIRED IF TYPE M ROLLED ROOFING IS USED FOR EAVES PROTECTION) -3/8" (10mm) PLYWOOD SHEATHING OR OSB (O-2 GRADE) WITH "H" CLIPS -APPROVED WOOD TRUSSES @ 24" O/C -TRUSS BRACING AS PER TRUSS MANUFACTURER

-METAL EAVESTROUGH ON PREFINISHED ALUMINUM FASCIA & ALUMINUM VENTED SOFFIT -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT THE SOFFIT TYPICAL EXTERIOR SIDING WALL

SCALLOP)

-6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING *PROVIDE 1"X3" (25mmX75mm) STRAPPING @ 12" O/C HORIZ. UNDER SHEATING FOR VERTICAL SIDING ONLY -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD TYPICAL EXTERIOR STUCCO WALL

2S - 'EIFS' APPROVED SYSTEM (OR EQUAL) -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN R-22 (3 87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER

-1/2" (12.7mm) GYPSUM BOARD \ EXTERIOR SIDING FIREWALL [/]45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE (2)

WITH THE FOLLOWING EXCEPTIONS -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD GARAGE WALLS

WALL ASSEMBLY THE SAME AS NOTE (2) WITH THE FOLLOWING EXCEPTIONS: -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O/C -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELETE INSULATION & 6 MIL AIR/VAPOUR BARRIER

YPICAL EXTERIOR BRICK / STONE VENEER WALL " (90mm) FACE BRICK OR 4" (100mm) STONE

PROVIDE WEEP HOLES @ 2'-6" (800mm) @ BOTTOM -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -1" (25mm) AIR SPACE -15lb (0.7 kg/m2) BUILDING PAPER -GALV. METAL BRICK TIES @ 24" (600mm) H.O.C. AND 16" (400mm) V.O.C.

-3/8" (10mm) EXTERIOR TYPE SHEATHING -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -GALV. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

EXTERIOR BRICK / STONE VENEER FIREWALL ⁾45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE (3) WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF

0.032 kg/m2 PER 1mm OF THICKNESS

-1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

WALL ASSEMBLY THE SAME AS NOTE (3) WITH THE FOLLOWING EXCEPTIONS -2"X4" (38mm X 89mm) STUDS @ 16" (400mm) O/C 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELÈTE INSÚLATION & 6 MIL AIR/VAPOUR BARRIER INTERIOR STUD WALLS

REQUIRE DAMPPROOFING)

9.13.3.2 (FINISHED BASEMENTS SHALL HAVE

DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

(0.15mm) POLYETHYLENE OR TYPE S ROLL ROOFING

W/12" (300mm) LAPPED JOINTS (DAMPPROOFING MAY

BE OMITTED IF CONCRETE HAS MIN. 3600psi (25MPa)

BASEMENT SLAB / SLAB ON GRADE

SLAB-DAMPPROOF BELOW SLAB W/MIN. 0.006

COMPRESSIVE STRENGTH AFTER 28 DAYS)

SEALANT CONFORMING TO O.B.C. 9.10.13.7

IT SHALL CONFORM TO OBC 9.13.7.

(O.B.C. SB-12 - 3.1.1.7 (5)).

23 1/2" (600mm) OF GRADE

(O.B.C. SB-12 - 3.1.1.7 (6)).

-R-60 (RSI 10.56) INSULATION

-6 MIL POLY AIR/VAPOUR BARRIER

STAIRS INTERIOR & EXTERIOR

(EXIT STAIRS, BETWEEN GUARDS)

FLOOR ASSEMBLY

CEILING

-MAX. RISE

-MIN. RUN

-MAX. NOSING

-MIN. WIDTH

-MIN. WIDTH

-MIN. HEADROOM

(BETWEEN WALL FACES)

FOR CURVED STAIRS

BOARD (12.7 mm)

-PROVIDE BOND BREAKING MATERIAL BETWEEN

-WHERE RADON EXISTS THE PERIMETER OF SLAB

AND ANY PENETRATIONS OF THE SLAB SHALL BE

SEALED AGAINST SOIL GAS LEAKAGE WITH FLEXIBLE

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED

PROVIDE R-10 (RSI 1.76) RIGID INSULATION AT

23 1/2" (600mm) BELOW EXTERIOR GRADE LEVEL

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION UNDER

ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN

16mm) T & G SPRUCE PLYWOOD OR

-FLOOR JOISTS AS PER FLOOR PLANS (JOISTS

-5/8" (15.8 mm) GYPSUM BOARD OR 1/2" CEILING

EQUIVALENT AS PER 9.23.14.5, 9.30.2.2, & 9.30.2.3, &

SPACED @ 12" (300mm) O.C. UNDER CERAMIC TILE)

PERIMETER OF SLAB WHERE GRADE IS WITHIN

23 1/2" (600mm) OF BASEMENT SLAB EDGE

INSULATION TO EXTEND TO NOT LESS THAN

-5" (100mm) OF 3/4" CLEAR STONE BASE

-2"X4" (38mm X 89mm) WOOD STUDS @ 16" (400mm) O.C. OR 2"X6" (38mm X 140mm) WOOD STUDS @ 16" -DOUBLE 2"X4" (38mm X 89mm) OR (38mm X 140mm) 2"X6" TOP PLATES SINGLE 2"X4" (38mm X 89mm) OR (38mm X 140mm) 2"X6" BOTTOM PLATE

-2 STOREY MASONRY = 26" X 9" (650mm X 230mm) 1/2" (13mm) INTERIOR GYPSUM BOARD BOTH SIDES -2 STOREY STUD = 18" X 6" (450mm X 150mm) **FOUNDATION WALL** -3 STOREY MASONRY = 36" X 14" (900mm X 360mm) *NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY -3 STOREY STUD = 24" X 8" (600mm X 200mm) SUPPORTED HEIGHT **BEARING STUD WALL (BASEMENT)** -8" (200mm) SOLID 2200psi (20MPa) CONCRETE -MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & 140mm) WOOD STUDS @ 12" (300mm) O.C.

MAX. SUPPORTED HEIGHT OF 6'-11" (2150mm) -DOUBLE 2"X4" OR 2"X6" TOP PLATE MEASURED FROM GRADE TO FINISHED BASEMENT -2"X4" OR 2"X6" SILL PLATE ON DAMPPROOFING MATERIAL -1/2" (12.7mm) DIA. ANCHOR BOLTS @ 8'-0" (2.4m) O.C. *NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY -FOOTING AS PER 13 W/ 4" CONC. CURB

SUPPORTED HEIGHT STEEL PIPE COLUMN (see O.B.C. 9.15.3.3) -10" (250mm) SOLID 2200psi (25MPa) CONCRETE 1/2" (89mm) DIA. X 0.118 (4.78mm) SINGLE WALL TUBE -MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & TYPE 2 ADJUSTABLE STEEL COLUMN W/ MIN ALLOWABLE MAX. SUPPORTED HEIGHT OF 9'-4" (2850mm LOAD OF 16000 LBS (71.2 kN) AT A MIN. EXTENSION OF 7'-7 MEASURED FROM GRADE TO FINISHED BASEMENT 1/2" (2318mm) CONFORMING TO CAN/CGSB-7 2-94 AND W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM -INSULATE W/ R-20 (RSI 3.52) CONTINUOUS -2200 psi (15MPa) POURED CONCRETE FOOTING ON INSULATION ON INTERIOR SIDE OF FDN WALL. UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF -WHERE HYDROSTATIC PRESSURE OCCURS, FDN. SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS WALLS SHALL BE WATERPROOFED AS PER OBC SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO 9.13.5 (WALLS THAT ARE WATERPROOFED DO NOT

STRIP FOOTING

ENGINEERING REPORT)

RIOR BEARING WALLS

15MPa) CONCRETE FOOTING W/

ROCK OR COMPACTED GRANULAR FILL W/ MIN.

*FTG. SIZES MAY BE REDUCED FOR SOILS W/

-2 STOREY BRICK - 19" X 6" (485mm X 155mm)

-3 STOREY BRICK - 26" X 9" (660mm X 230mm

CONTINUOUS KEY, RESTING ON UNDISTURBED SOIL,

XTERIOR WALLS TG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE

BITMINOUS DAMP PROOFING AS PER OBC 9.13.3.1 & (15A) STEEL PIPE COLUMN (see O.B.C. 9.15.3.3) 1/2" (89mm) DIA, X 0.188 (4.78mm) FIXED STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 24000 LBS (108.6 kN) W/ INTERIOR DAMPPROOFING EXTENDING FROM SLAB 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM -2200 psi (15 MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

-BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL -WALL SHALL EXTEND A MIN. 6" (150mm) ABOVE GRADE n) DIA, X 0.188 (4.78mm) NON-ADJUSTABLE DIA WEEPING TILE LAID ON UNDISTURBED STEEL COLUMN W/ 6"X6"X3/8" (150X150X9.5) STEEL TOP OR WELL COMPACTED SOIL. TOP OF WEEPING TILE TO PLATE & 4 1/2"X10"X1/2" (120X250X12.5) STEEL BOTTOM BE BELOW BTM. OF FLR. SLAB. COVER TOP & SIDES OF PLATE W/ 2-1/2"DIA.X12"X2" (2-12mm DIA.X300mm WEEPING TILE W/ 6" (150mm) OF CRUSHED STONE OR HOOK ANCHORS, FIELD WELD COLUMN TO BASE PLATE OTHER COURSE CLEAN GRANULAR MATERIAL AND

PILASTERS / BEAM POCKETS PILASTER -8" X 8" (200mm X 200mm) POURED CONCRETE PEIF **BEAM POCKET** RECESSED INTO FDN. WALL, WIDTH TO MATCH BEAM SIZE W/ 1/2" (12.7mm) SPACE AROUND

WOOD BEAMS STEEL BEAM WOOD PLATE / STRAPPING FLANGE @ 16" O/C. JOISTS TO BE TOE NAILED TO PLATE. -1"X4" (19mm X 38mm) WOOD STRAPPING ON BOTH SIDES OF STEEL BEAM **GARAGE SLAB**

-4"(100mm) CONCRETE SLAB, 4650psi (32MPa)
COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL. SHALL BE COMPACTED

GARAGE WALL & CEILING 2.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE & GARAGE -TAPE AND SEAL ALL JOINTS GAS TIGHT -R22 (RSL3 87) BATT INSULATION IN WALLS -R31 (RSI 5.46) SPRAY FOAM INSULATION IN CEILINGS W/ FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE

W/ OBC 9.25.3 & 9.25.4 FOR FLOOR ABOVE GARAGE MAN DOOR O BE GAS PROOFED WITH SELF CLOSER WEATHERSTRIPPING, THRESHOLD & DEADBOLT

TED TO BE LAID ON GROUND MAX

 $\langle 22 \rangle$ CAPPED DRYER VENT OBC 9.32.1.3(3)

23 -19 3/4" X 27 1/2" (500mmx700mm) ATTIC HATCH W/ WEATHER STRIPPING & BACKED W/ R40 (RSI 7.0) INSULATION

24 LINEN CLOSET -4 SHELVES MIN. 1'-2" (350mm) DEEP

nm) CONCRETE SLAB 4650nsi (32MPa)

UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT

-6" X 6" (W2 9 X W 2 9) WIRE MESH LOCATED NEAR

COURSE CLEAN GRANULAR MATERIAL, SHALL BE

-5" (130mm) 4650psi (32 MPa) CONC. SLAB W/ 5-8% AIR

-REINFORCE W/ 10M BARS @ 8" (200mm) O.C. EACH WAY PLACED IN BTM. THIRD OF SLAB

-PROVIDE L1+L7 LINTELS OR 2 - L7's BACK TO BACK

-24"X24" (600X600mm) 10M DOWELS @ 16" (400mm)
O.C. ANCHORED IN PERIMETER OF FDN. WALLS

-4" (100mm) OF COURSE GRANULAR MATERIAL

-ANY FILL PLACED UNDER SLAB, OTHER THAN

PORCH SLAB ABOVE COLD CELLAR

*FOR PORCHES LESS THAN 8'0" DEEP

-SLOPE SLAB MIN. 1.5% TO EXTERIOR

OVER COLD CELLAR DOORS

COMPRESSIVE STRENGTH AFTER 28 DAYS FOR

(25) EXHAUST FAN ROOM TO BE MECHANICALLY VENTED TO PROVIDE AT = 2'-11" (900mm) LEAST ONE AIR CHANGE PER HOUR - SEALED W/ ALUM.

= 7-7/8" (200mm

= 10" (255mm)

= 6'-5" (1950mm

WOOD COLUMN = 5-7/8" (150mm) -6" X 6" (140mm X 140mm) SOLID No.1 SPF = 7-7/8" (200mm) -MIN. AVG. RUN -METAL SHOE ANCHORED TO FTG. -25" X 25" X 12" (640mmX 640mmX 300mm) CONC. PAD (1 NOTE: FOR EXTERIOR CONC. STEPS FLOOR SUPPORTED W/ 9'-10" COL. SPACING) -10" (254mm) RUN & 8" (200mm) RIS -34" X 34" X 14" (860mmX 860mmX 360mm) CONC. PAD (2 -FOUNDATION WALL REQUIRED FOR 3 OR MORE FLOORS SUPPORTED W/ 9'-10" COL. SPACING) RISERS, FOOTING TO BE MIN, 4'-0" (1,22mm) BELOW

PORCH SLAB

ENTRAINMENT

RAILINGS / GUARDS -INTERIOR STAIR = 2'-11" (900mm) (GREATER THAN 2'0" (610mm) ABOVE GRADE) EXTERIOR LANDING = 3'-6" (1070mm) GREATER THAN 5'11" (1800mm) ABOVE GRADE) -EXTERIOR STAIR = 2'-11" (900mm) -4" (100mm) MAX. BETWEEN WOOD PICKETS

12 SILL PLATE
-2" X 4" (38mm X 89mm) SILL PLATE W/ 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7'-10" (2.4m) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN WALL. SILL PLATE TO BE CAULKED OR PLACED ON MINERAL WOOL OR FOAM GASKET NOT LESS THAN 1' (25mm) THICK BEFORE COMPRESSING, OR PLACED ON FULL BED OF MORTAR

BRIDGING & STRAPPING

X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2.1m) O.C. X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11"

-FASTED TO SILL OR HEADER @ ENDS 29 BLOCK VENEER WALL

00mm) CONCRETE BLOCK TO SUPPORT BRICK ABOVE. WALL AS PER NOTE (3) EXCEPT NO WEEP HOLES WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE OR No.15 ROLL ROOFING

DOUBLE VOLUME WALL FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. FOR HORIZ. DISTANCES NOT EXCEEDING 2900mm (9'-6") PROVIDE 38x140 (2"x6") STUDS @400mm (16") o.c. WITH A CONTINUOUS HEADER AT THE GROUND ELOOR CEILING LEVEL TOENAILED AND GLUED TO THE TOP PLATES. 1/2" EXT. PLYWOOD. CONVENTIONAL ROOF & CEILING FRAMING
-2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C.

-2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED -HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1-1/2" (38mm) THICK VAULTED OR CATHEDRAL CEILING

2" (38mm) CROSS PURLINS -R31 (RSI 5.46) INSULATION, 3" (75mm) MIN, CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -6 MIL POLY AIR/VAPOUR BARRIER 1/2" (12.7 mm) GYPSUM BOARD WALLS ADJACENT TO ATTIC SPACE

(13mm) GYPSUM BOARD -6 MIL POLY AIR/VAPOUR BARRIEF -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" -R22 (RSI 3.87) BATT INSULATION -7/16" (11mm) OSB SHEATHING ON ATTIC SIDE **EXPOSED CANTILEVERED FLOOR** LOOR ASSEMBLY AS PER NOTE 6 MIL POLY AIR/VAPOUR BARRIEF -R31 (RSI 5.46) SPRAY FOAM INSULATION

UNSUPPORTED FDTN. WALLS @ OPENINGS & SUNKEN AREAS -2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" -3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" UNSUPPORTED WALL LENGTH) -BARS STACKED VERTICALLY @ INTERIOR FACE OF WALL SPACED 5" O.C. W/ 2" (50mm) CONCRETE COVER & EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

PROPOSED ELECTRICAL PANEL LOCATION PROVIDE 2" X 4" SP#2 SUPPORT WALL ON INSIDE FACE OF CI BEHIND ELECTRICAL PANEL (PANEL LOCATION MAY

ABOVE COOKTOP FIRE PROTECTION -FRAMING, FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE A MIN. 2'-6" (750mm) CLEARANCE, UNLESS FRAMING FINISHES AND CABINETRY ARE NON-COMBUSTIBLE, OR ARE PROTECTED AS PER 9.10.22.2(2)(b)(i) AND (ii) (WHERE 24" (600mm) CLEAR REQ'D), MINIMUM 18" (450mm) BETWEEN COMBUSTIBLE FRAMING, FINISHES AND CABINETRY FROM WHERE THE RANGE IS TO BE LOCATED, PROTECTED BY COUNTER TOP SPLASH BOARDS OR BACK PLATES ARE

SMOKE ALARM (O.B.C - 9.10.19.) PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS ROVIDE 1 IN EACH BEDROOM PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS ALARMS TO BE CONNECTED IN CIRCUIT AND TERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF NY ONE OF THEM SOUNDS. LARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE OWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS. OLLOWED BY 4 MINUTES OF ALARM SMOKE ALARMS SHALL HAVE A VISUAL COMPONENT AS PER .10.19.1.(2)

CARBON MONOXIDE ALARM (O.B.C. - 9.33.4.) HERE THERE IS A FUEL BURNING APPLIANCE A CMA SHA E PROVIDED ADJACENT TO EACH SLEEPING AREA. CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS VHERE A STORAGE GARAGE IS ATTACHED OR BUILT-IN, A MA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING

MINIMUM 3-2"X6" OR 3-2"X4" BUILT UP COLUMN TO MATCH WALL THICKNESS. SQUASH BLOCKS TO BE PROVIDED TO

BUILT UP COLUMNS TO BE NAILED WITH 1 ROW FOR 2"X4 COLUMNS AND 2 ROWS, STAGGERED FOR 2"X6" COLUMNS, AT 8 1/2" O/C. NAIL LENGTH TO MATCH BUILT UP COLUMN

RANSFER POINT LOADS THROUGH FLOOR SYSTEM

BASEMENT GENERAL NOTES

STRUCTURAL STEEL MEMBERS AND INSERTS SHALL B

CSA G.40.21-M350 AND EMBEDDED PLATES SHALL BE

EQUALLY ON BOTH SIDES OF GARAGE FOUNDATION

BACKFILL SHALL BE PLACED AND COMPACTED

ALL EXPOSED CONCRETE TO BE 32 Mpa W/ 5-7%

ALL FOOTINGS TO HAVE MIN. 2-15M BARS CONT

WHEN VENEER CUT IS GREATER THAN 26" A 10"

ALLS TO AVOID LATERAL LOADING

PAD FOOTING SCHEDULE

24"x24"x12" POURED CONC. PAD

36"x36"x16" POURED CONC. PAD

3 42"x42"x19" POURED CONC. PAD

48"x48"x22" POURED CONC. PAD

5 54"x54"x25" POURED CONC. PAD

60"x60"x28" POURED CONC. PAD

O BE SITE VERIFIED

REBAR NOTES

B.L.L BOTTOM LOWER LEVEL

B.U.L BOTTOM UPPER LEVEL

T.U.L TOP UPPER LEVEL

Γ.A.A. TOP ALL AROUND

B.E.W BOTTOM EACH WA

WALL LEGEND

ASSUME SOIL BEARING CAPACITY 150 Kpa

VARYING WALL HEIGHT

DOUBLE VOLUME WALL

LOAD BEARING WALL

FLOOR AREA CALCULATIONS

GROUND FLOOR AREA

SECOND FLOOR AREA

LOFT FLOOR AREA

TOTAL FLOOR AREA

LOFT FLOOR OPEN AREA

ADD TOTAL OPEN AREAS

GROUND FLOOR COVERAGE

TOTAL COVERAGE W/ PORCH

TOTAL COVERAGE W/O PORCH

SECOND FLOOR TO LOFT

TOTAL WALL AREA

GLAZING FRONT ELEVATION

31 AZING REAR ELEVATION

TOTAL GLAZING AREA

GLAZING AREA

GLAZING LEFT SIDE ELEVATION

GLAZING RIGHT SIDE ELEVATION

LOFT FLOOR TO TOP OF PLATE

GROUND FLOOR PERIMETER

SECOND FLOOR PERIMETER

GLAZING CALCULATION CHART EL. A

1st FLOOR OPEN AREA

ADD FIN. BASEMENT AREA

GROSS FLOOR AREA

GARAGE AREA

PORCH AREA

GROUND FLOOR GENERAL NOTES

D BE A MIN. OF 2-2"X8" SPF#1

RIPLE STUDS @ CORNERS

RAMING INFORMATION

REATER THAN 7

LOOR FRAMING INFORMATION

BOTH SIDES

ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOW

ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE

TED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWAL

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE

OTTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND

REFER TO FLOOR TRUSS SHOP DRAWINGS FOR ALL

REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.

ELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW

CONTRACTOR TO VERIFY ALL FLOOR & ROOF

STEEL COLUMN SCHEDULE

DIA. ANCHOR BOLTS W/ 4 BOLTS

2-3/4" 4 - 1 DIA ANCHOR BOLTS

@ 4 - 3/4" DIA ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

3 1/2" x 3 1/2" x 1/4" (90x90x6)

3 1/2" x 3 1/2" x 5/16"(90x90x8)

0 | 5" x 3 1/2" x 5/16" (125x90x8)

5" x 3 1/2" x 3/8" (125x90x10) L

BEAM 24" BELOW OPENING W/ 1RE 0m

2 6" x 4" x 3/8" (150x100x10) L

ELEV. A

Sq. Ft.

997

1383

673

2380

10

10

20

39

997

396

55

1448

= | 134.52 |

1393

= | 129.41 |

9.08 ft.

8.08 ft.

160.67 ft.

4480.53 s.f

107.04 s.f.

75.55 s.f.

0.00 s.f.

170 14 s f

352.73 s.f.

7.87%

2 - 2"X8" SP#2

3 - 2"X8" SP#2

2 - 2"X10" SP#2

3 - 2"X10" SP#2

5 2 - 2"X12" SP#2

.6 3 - 2"X12" SP#2

RUSSES, DIMENSIONS AND ENGINEERING. ANY

ISCREPANCIES SHALL BE REPORTED TO 1 RISER

4"X4"X1/4" H.S.S. W/ 6"X10"X1/2" BASE PLATE & 2-3/4

3 1/2"DIA. 1/4" THICK W/ 10"X10"X1/2" BASE PL. W.

6" X 6" X 3/8" THICK W/ 12" X 12" X 1/2" BASE PLATE

5" X 5" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE

4" X 4" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE

M" 25KN/m2 - USE 4 BOLTS FOR MOMENT CONNECTION

WOOD/STEEL LINTELS WOOD BEAMS

4-15m BARS OVER OPENING, EXTENDED

31 2 - 2"X8" SP#2

VB2 3 - 2"X8" SP#2

VB3 4 - 2"X8" SP#2

B4 2 - 2"X10" SP#

B5 3 - 2"X10" SP#

B6 4 - 2"X10" SP

37 2 - 2"X12" SP#

B8 3 - 2"X12" SP#

39 4 - 2"X12" SP#

RIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS

SECOND FLOOR GENERAL NOTES

TO BE A MIN. OF 2-2"X8" SPF#2

RIPLE STUDS @ CORNERS

RAMING INFORMATION

DOOR SCHEDULE

- ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN

- ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE

NOTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALL

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE

BOTTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND

- REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF

CONTRACTOR TO VERIFY ALL FLOOR & ROOF

TRUSSES, DIMENSIONS AND ENGINEERING. ANY

DESIGNS PRIOR TO CONSTRUCTION.

DISCREPANCIES SHALL BE REPORTED TO 1 RISER

2'-10" x 6'-8" - INSULATED ENTRANCE DOOR

2'-8" x 6'-8" - INSULATED FRONT DOORS

2'-8" x 6'-8" x 1-3/4" - EXTERIOR SLAB DOOR

3'-0" X 6'-8" X 1-3/4" - EXTERIOR SLAB DOOR

2'-8" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

2'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

2'-2" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

2'-0" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

2-4" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

2'-8" x 6'-8" - WOOD & GLASS DOOR

ALL CONCRETE FOOTINGS SHALL REST ON IDISTURBED SOIL WITH ALLOWABLE BEARING APACITY OF 150 KPA. (3135 PSF). (TO BE SITE VERIFIED ND SHALL BE A MIN. OF 4'0" BELOW FINISHED GRADE. CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL AVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA FTER 28 DAYS.

NERAL PURPOSE STEEL

2439.00 Sq. Ft. Sq. Ft. Sq. Ft. Sq. Ft. Sq. Ft. Sq. m. Sq. Ft. Sq. m. **GLAZING CALCULATIO** GRADE TO SECOND FLOOR SECOND FLOOR TO LOFT LOFT FLOOR TO TOP OF PLA GROUND FLOOR PERIMETER SECOND FLOOR PERIMETER LOFT FLOOR PERIMETER TOTAL WALL AREA GLAZING FRONT ELEVATION GLAZING LEFT SIDE ELEVAT

GLAZING RIGHT SIDE ELEVA

GLAZING REAR ELEVATION TOTAL GLAZING AREA

ALLOWABLE GLAZING ARE

GLAZING AREA

FLOOR AREA CALCULATIONS ELEV. B GROUND FLOOR AREA 997 Sq. Ft. SECOND FLOOR AREA 1391 Sq. Ft. OFT FLOOR AREA 669 Sq. Ft. TOTAL FLOOR AREA 2388 Sq. Ft. OFT FLOOR OPEN AREA 10 Sq. Ft Ist FLOOR OPEN AREA Sq. Ft. 10 ADD TOTAL OPEN AREAS 20 Sq. Ft. ADD FIN. BASEMENT AREA Sq. Ft. 39 **GROSS FLOOR AREA** 2447.00 Sq. Ft GROUND FLOOR COVERAGE 997 Sq. Ft. GARAGE AREA 491 Sq. Ft ORCH AREA 55 Sq. Ft OTAL COVERAGE W/ PORCH 1543 Sq. Ft. 143.35 Sq. m TOTAL COVERAGE W/O PORCH Sq. Ft. 1488 = | 138.24 Sq. m.

FLOOR AREA CALCULATIONS ELEV.			EV. C
GROUND FLOOR AREA	=	997	Sq. Ft.
SECOND FLOOR AREA	=	1383	Sq. Ft.
LOFT FLOOR AREA	=	669	Sq. Ft.
TOTAL FLOOR AREA	=	2380	Sq. Ft.
LOFT FLOOR OPEN AREA	=	10	Sq. Ft.
1st FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	20	Sq. Ft.
ADD FIN. BASEMENT AREA	=	39	Sq. Ft.
GROSS FLOOR AREA	=	2439.00	Sq. Ft.
GROUND FLOOR COVERAGE	=	997	Sq. Ft.
GARAGE AREA	=	490	Sq. Ft.
PORCH AREA	=	55	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1542	Sq. Ft.
	=	143.26	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1487	Sq. Ft.
	=	138.15	Sq. m.

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ION CHART EL. B			GLAZING CALCULATION CHART EL. C		
	11.75 ft.		GRADE TO SECOND FLOOR	11.75 ft.	
	9.08 ft.		SECOND FLOOR TO LOFT	9.08 ft.	
ATE	8.08 ft.		LOFT FLOOR TO TOP OF PLATE	8.08 ft.	
R	160.67 ft.		GROUND FLOOR PERIMETER	160.67 ft.	
R	162.67 ft.		SECOND FLOOR PERIMETER	160.67 ft.	
	134.82 ft.		LOFT FLOOR PERIMETER	134.82 ft.	
	4455.08 s.f.		TOTAL WALL AREA	4436.91 s.	
N	120.07 s.f.		GLAZING FRONT ELEVATION	150.03 s.f.	
TION	75.55 s.f.		GLAZING LEFT SIDE ELEVATION	75.55 s.f.	
ATION	0.00 s.f.		GLAZING RIGHT SIDE ELEVATION	0.00 s.f.	
	170.14 s.f.		GLAZING REAR ELEVATION	170.14 s.f.	
١	365.76 s.f.		TOTAL GLAZING AREA	395.72 s.f	
A	17 %		ALLOWABLE GLAZING AREA	17 %	
	8.21%		GLAZING AREA	8.92%	
	•	•			

_
11.75 ft.
9.08 ft.
8.08 ft.
160.67 ft.
160.67 ft.
134.82 ft.
4436.91 s.f.
150.03 s.f.
75.55 s.f.
0.00 s.f.
170.14 s.f.
395.72 s.f.
17 %
8.92%

_		ı	
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
RE	VISIONS		

20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3

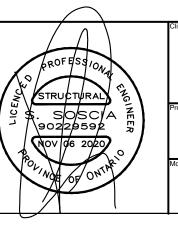
PHONE: (905) 669-2111

FAX: 1 (866) 602-1163 WWW.ONERISER.CA

27816 32026 1 RISER DESIGNS Inc

CONSTRUCTION

NOTES/ AREAS



TREASURE HILL

ARANCIA CITY OF MARKHAM

36'-D4

THE MONTCLAIRE 4

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWIN ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

NP

LL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

20-03 3/16" = 1'0' NP

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Appendix C

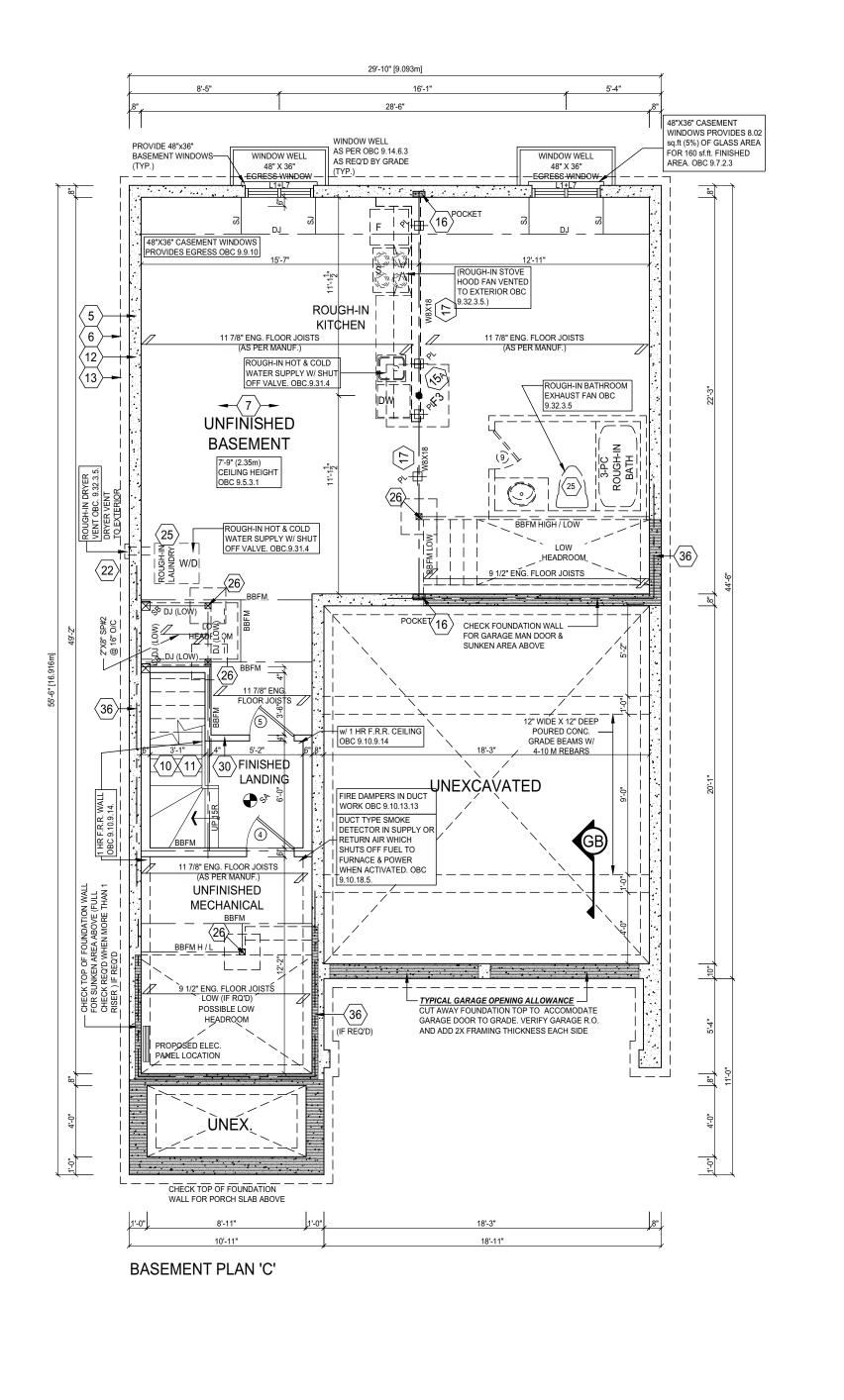
lly comply with the Architectural Gui

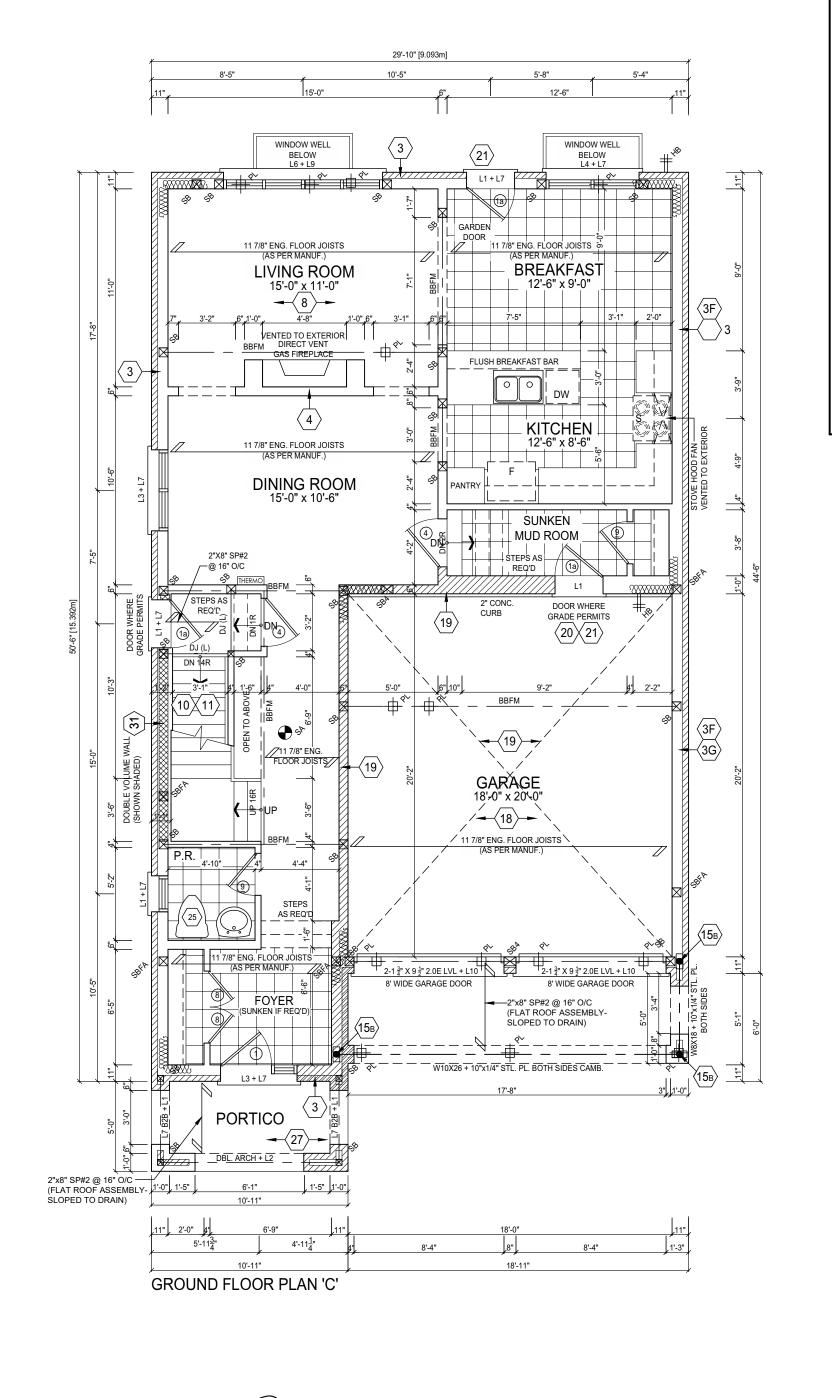
OR LOTS: CITY OF MARKHAM

kamining or approving site (lotting) plans o orking drawings with respect to any zoning o uilding code or permit matter or that an ouse can be properly built or located on its lo

AVI SHWARTZ OAA, MRAIC of JOHN G. VILLIAMS LIMITED, ARCHITECT certify that epplicable comply with the applicable

ity of Markham and on file with the Design





Appendix C

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design

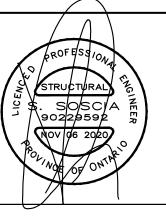
JOHN G. WILLIAMS LTD., ARCHITECT AND APPROVAL DATE: NOV 16, 2020

REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION SEP. 21/20 NP SEP. 1/20 NP REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS COORDINATE W/ FLOOR AND TRUSS LAYOUTS JUL. 29/20 NP JUN. 12/20 NP ISSUED FOR CLIENT REVIEW REVISIONS

20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3 PHONE: (905) 669-2111 FAX: 1 (866) 602-1163 WWW.ONERISER.CA

BASEMENT & GROUND FLOOR PLAN ELEVATION 'C'





TREASURE HILL

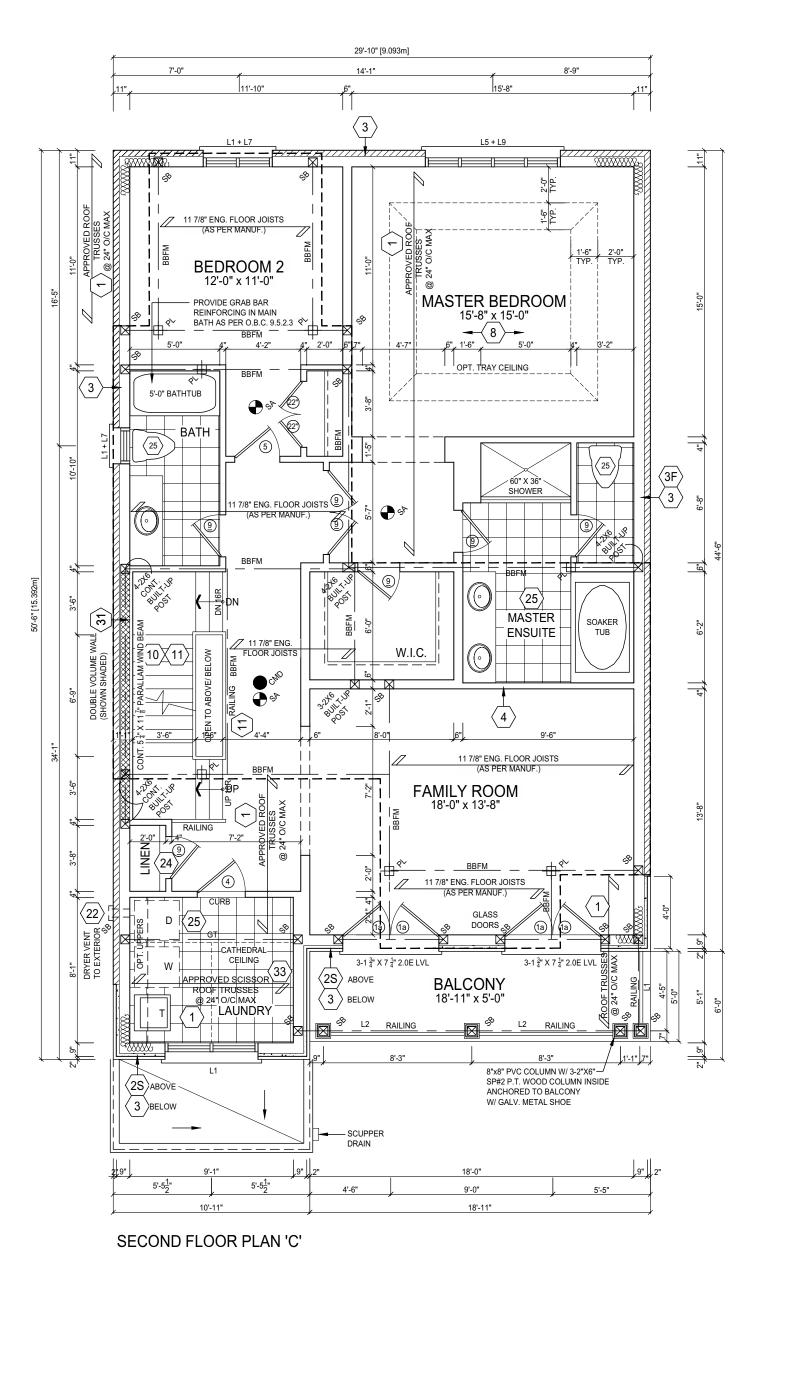
ARANCIA CITY OF MARKHAM

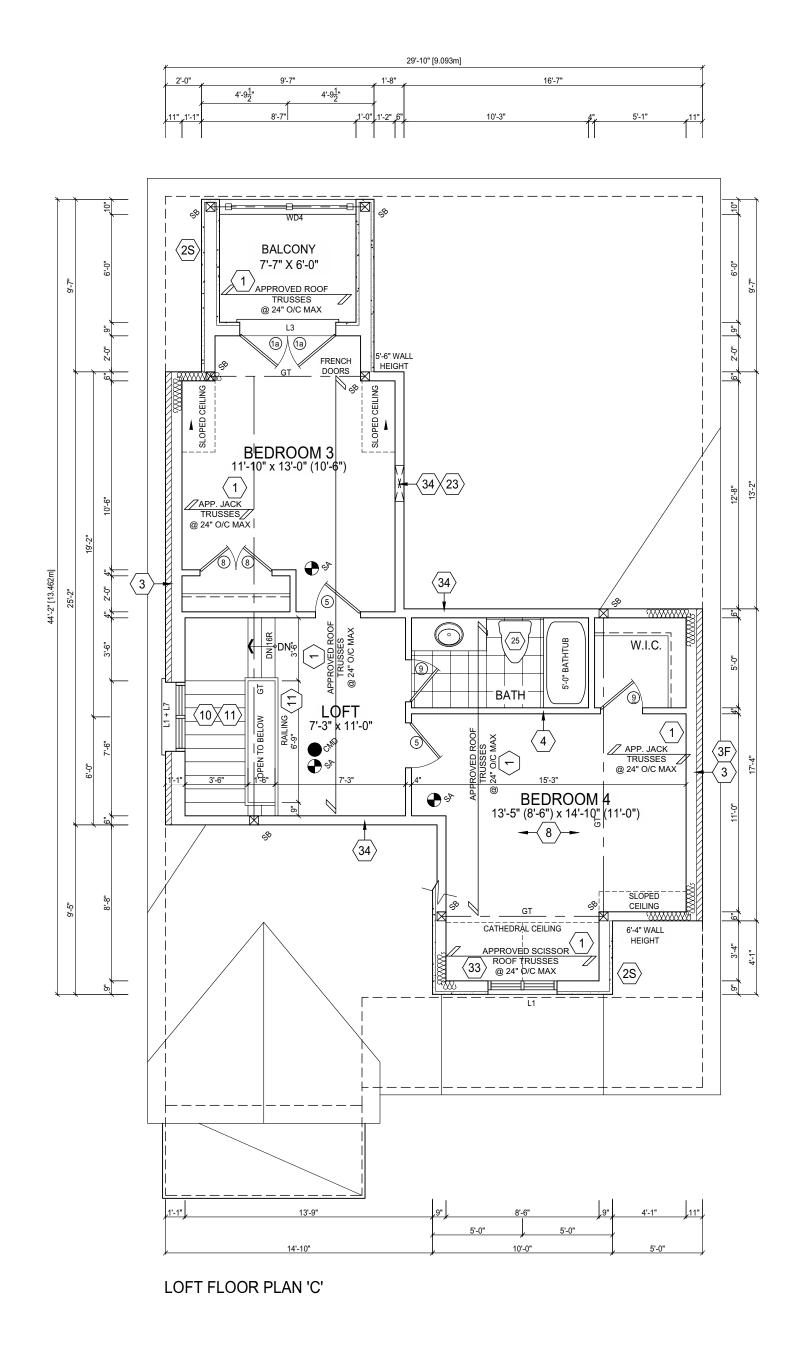
> 36'-D4 THE MONTCLAIRE 4

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20-03 3/16" = 1'0" NP





Appendix C

FOR LOTS: CITY OF MARKHAM

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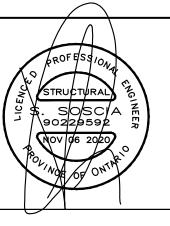
JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL DATE: NOV 16, 2020

REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION SEP. 21/20 NP REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS SEP. 1/20 NP COORDINATE W/ FLOOR AND TRUSS LAYOUTS JUL. 29/20 NP JUN. 12/20 NP ISSUED FOR CLIENT REVIEW

20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3 PHONE: (905) 669-2111 FAX: 1 (866) 602-1163 WWW.ONERISER.CA

SECOND & LOFT FLOOR PLAN ELEVATION 'C'





TREASURE HILL

ARANCIA CITY OF MARKHAM

36'-D4 THE MONTCLAIRE 4

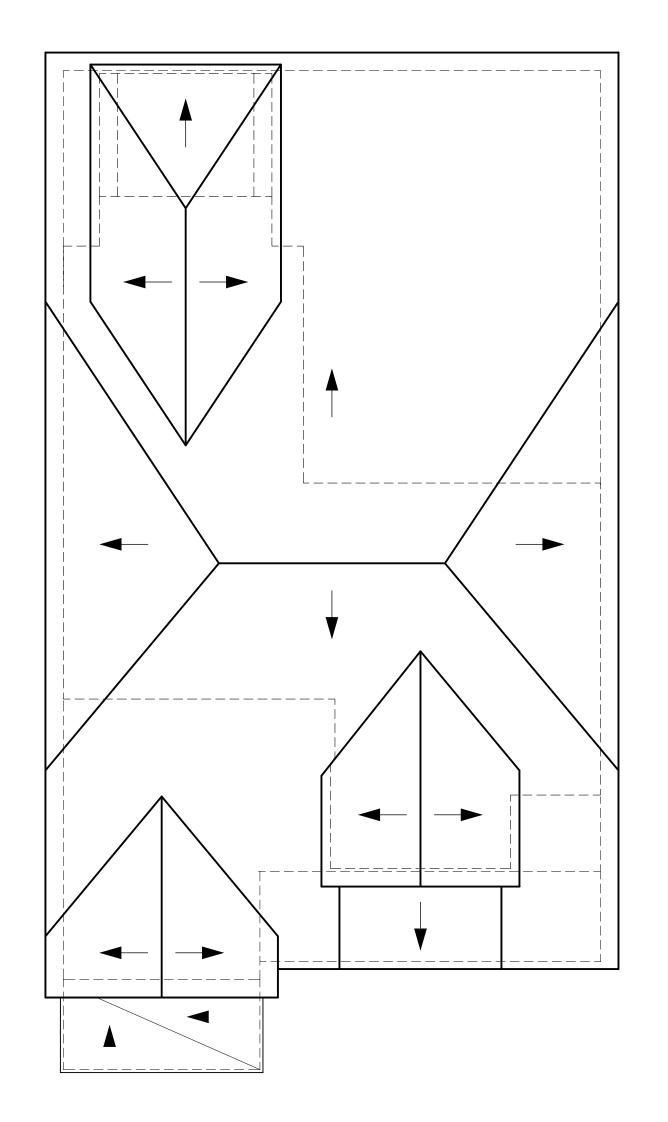
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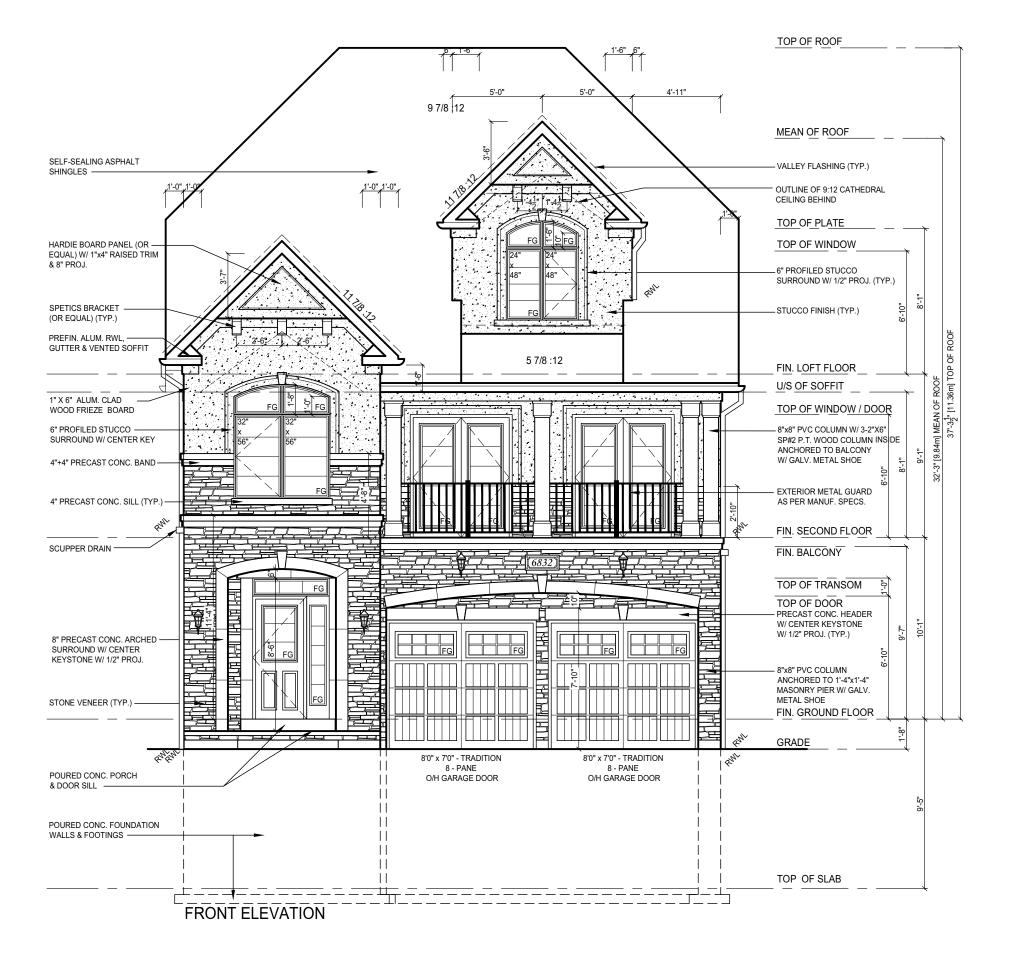
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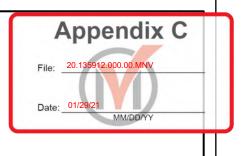
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NP

20-03 3/16" = 1'0"







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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE:

NOV 16. 2020

This stamp certifies compliance with the applicab
Design Guidelines only and bears no further

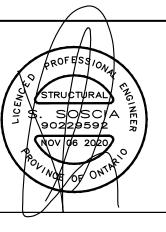
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
RE	VISIONS		



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TREASURE HILL

ARANCIA CITY OF MARKHAM

36'-D4
THE MONTCLAIRE 4

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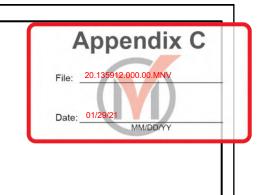
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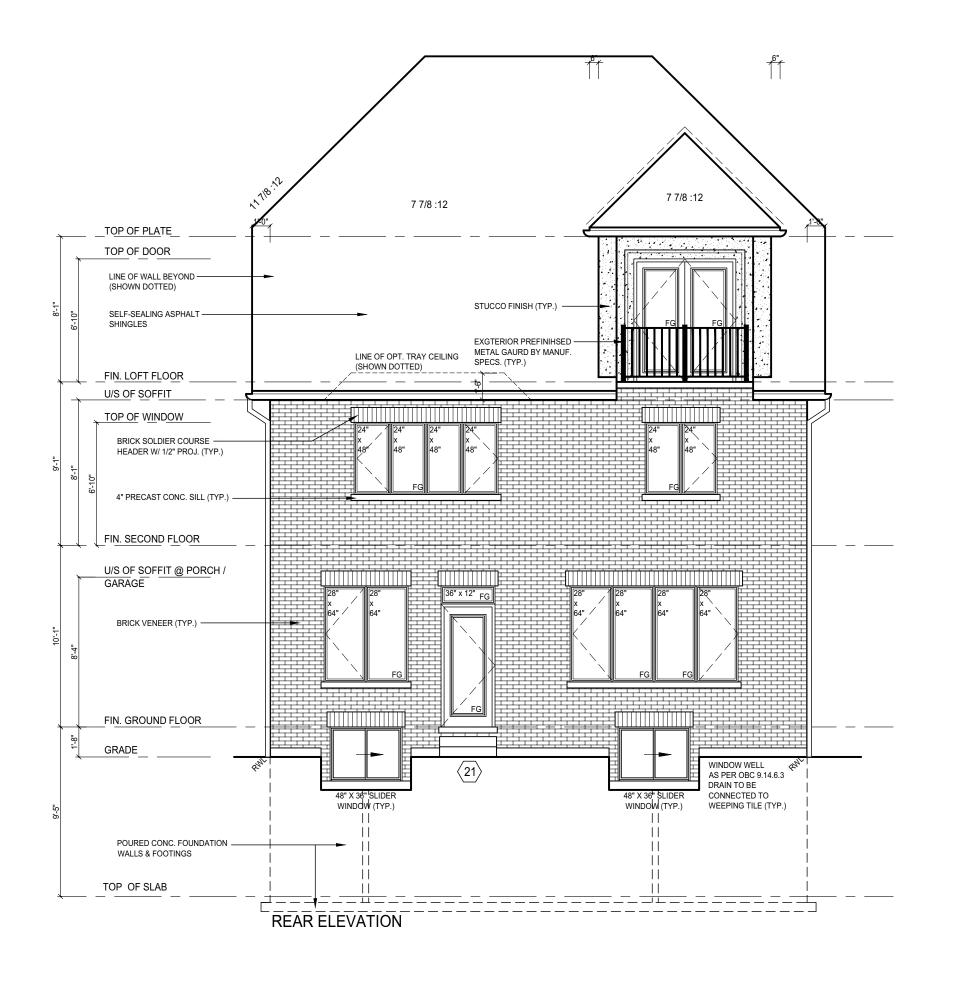
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DO NOT SCALE DRAWINGS.

y:	NP	Project No: 20-03
Ву:	NP	3/16" = 1'0'

Page





FOR LOTS: CITY OF MARKHAM

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4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
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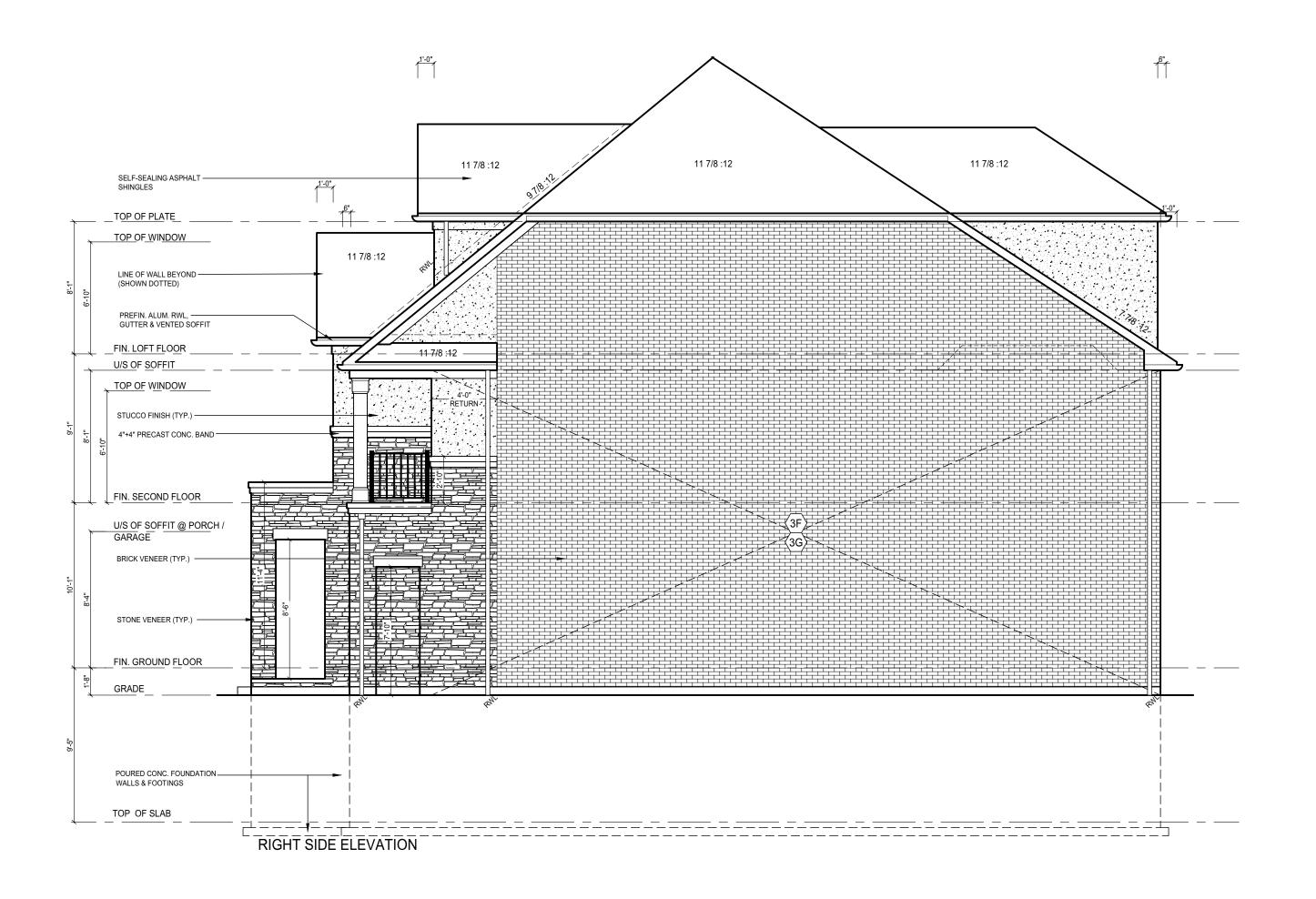
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NP

NP

20-03	Elevation
16" = 1'0"	





FOR LOTS: CITY OF MARKHAM

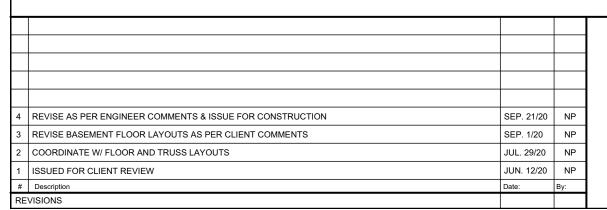
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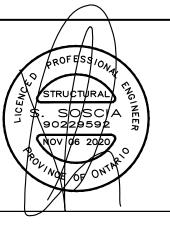
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NOT SCALE DRAWINGS.

NOTES

(UNLESS OTHERWISE NOTED)

SB-12

2"X4" (38mm X 89mm) WOOD STUDS @ 16" (400mm)

SUPPORTED HEIGHT

REQUIRE DAMPPROOFING)

9.13.3.3(3))

-10" (250mm) SOLID 2200psi (25MPa) CONCRETE

MAX_SUPPORTED HEIGHT OF 9'-4" (2850mm)

-INSULATE W/ R-20 (RSI 3.52) CONTINUOUS

INSULATION ON INTERIOR SIDE OF FDN WALL.

9.13.3.2 (FINISHED BASEMENTS SHALL HAVE

TO GRADE LEVEL & SHALL CONFORM TO OBC

-DRAINAGE LAYER SHALL BE PROVIDED IN

CONFORMANCE TO OBC 9.14.2.1(2)(3)(4))

-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) &

MEASURED FROM GRADE TO FINISHED BASEMENT

-WHERE HYDROSTATIC PRESSURE OCCURS, FDN.

9.13.5 (WALLS THAT ARE WATERPROOFED DO NOT

-BITMINOUS DAMP PROOFING AS PER OBC 9.13.3.1 &

INTERIOR DAMPPROOFING EXTENDING FROM SLAB

-BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL -WALL

SHALL EXTEND A MIN. 6" (150mm) ABOVE GRADE

OTHER COURSE CLEAN GRANULAR MATERIAL AND

BASEMENT SLAB / SLAB ON GRADE

(75mm) SOLID 3600psi (25MPa) CONCRETE

(0.15mm) POLYETHYLENE OR TYPE S ROLL ROOFING

N/12" (300mm) LAPPED JOINTS (DAMPPROOFING MAY

BE OMITTED IF CONCRETE HAS MIN 3600psi (25MPa)

-PROVIDE BOND BREAKING MATERIAL BETWEEN

-WHERE RADON EXISTS THE PERIMETER OF SLAB

AND ANY PENETRATIONS OF THE SLAB SHALL BE

SEALED AGAINST SOIL GAS LEAKAGE WITH FLEXIBLE

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION UNDER

ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN

(16mm) T & G SPRUCE PLYWOOD OR

-FLOOR JOISTS AS PER FLOOR PLANS (JOISTS

-5/8" (15.8 mm) GYPSUM BOARD OR 1/2" CEILING

= 7-7/8" (200mm

= 10" (255mm)

= 1" (25mm) = 6'-5" (1950mm)

= 2'-10" (860mm)

= 2'-11" (900mm

= 5-7/8" (150mm)

= 7-7/8" (200mm

= 3'-6" (1070mm)

= 2'-11" (900mm)

= 2'-11" (900mm)

EQUIVALENT AS PER 9.23.14.5, 9.30.2.2, & 9.30.2.3, &

SPACED @ 12" (300mm) O.C. UNDER CERAMIC TILE)

SLAB-DAMPPROOF BELOW SLAB W/MIN. 0.006

COMPRESSIVE STRENGTH AFTER 28 DAYS)

-5" (100mm) OF 3/4" CLEAR STONE BASE

SEALANT CONFORMING TO O.B.C. 9.10.13.7

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION AT

PERIMETER OF SLAB WHERE GRADE IS WITHIN

23 1/2" (600mm) OF BASEMENT SLAB EDGE.

INSULATION TO EXTEND TO NOT LESS THAN

IT SHALL CONFORM TO OBC 9.13.7.

(O.B.C. SB-12 - 3.1.1.7 (5)).

23 1/2" (600mm) OF GRADE

-R-60 (RSI 10 56) INSULATION

BOARD (12.7 mm)

-MAX RISE

-MIN. RUN

-MIN RUN

-MIN. AVG. RUN

SILL PLATE

ON FULL BED OF MORTAR

-MAX. NOSING

-MIN. HEADROOM

(BETWEEN WALL FACES)

FOR CURVED STAIRS

RAILINGS / GUARDS

-6 MIL POLY AIR/VAPOUR BARRIER

STAIRS INTERIOR & EXTERIOR

(EXIT STAIRS, BETWEEN GUARDS)

0" (254mm) RUN & 8" (200mm) RIS

NOTE: FOR EXTERIOR CONC. STEPS

-FOUNDATION WALL REQUIRED FOR 3 OR MORE

WALL SILL PLATE TO BE CALLERED OR PLACED ON

MINERAL WOOL OR FOAM GASKET NOT LESS THAN 1'

(25mm) THICK BEFORE COMPRESSING, OR PLACED

FLOOR ASSEMBLY

9 CEILING

WALLS SHALL BE WATERPROOFED AS PER OBC

-ALL CONSTRUCTION TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE (OBC), ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION. -ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED

TYPICAL FRAME CONSTRUCTION ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS -DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN

EXTERIOR WALLS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m) -DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m) -DOUBLE JOISTS UNDER PARALLEL PARTITIONS -BEAM TO BE PLACED UNDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS -BEAM MAY BE A MAX. 24" (600mm) FROM A LOADBEARING WALL WHEN THAT WALL IS

PERPENDICULAR TO FLOOR JOISTS -METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND

SUPPORTS FOR 2" X 8" (38mm X 184mm -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER -ALL STEEL BEAMS TO BE GRADE 350W -LAMINATED VENEER LUMBER(LVL) TO BE GRADE 1.9E OR BETTER (MODULUS OF ELASTICITY, E=1.9X10⁶ psi) TYPICAL ROOF CONSTRUCTION

-NO. 210 (30.5 kg/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE

EAVES PROTECTION TO EXTENT UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1'-0" (300mm) PAST THE INSIDE FACE OF THE EXTERIOR WALL -EAVES PROTECTION LAID BENEATH STARTER STRIP -STARTER STRIP AS PER OBC 9.26.7. (STARTER STRIP NOT REQUIRED IF TYPE M ROLLED ROOFING IS USED

FOR EAVES PROTECTION) -3/8" (10mm) PLYWOOD SHEATHING OR OSB (O-2 GRADE) WITH "H" CLIPS

-APPROVED WOOD TRUSSES @ 24" O/C -TRUSS BRACING AS PER TRUSS MANUFACTURER -METAL EAVESTROUGH ON PREFINISHED ALUMINUM FASCIA & ALUMINUM VENTED SOFFIT -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT THE SOFFIT

TYPICAL EXTERIOR SIDING WALL -VINYL SIDING (HORIZONTAL, VERTICAL, SHAKE OR

SCALLOP) -6" (150mm) BASE ELASHING LIP BEHIND WALL SHÈATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING *PROVIDE 1"X3" (25mmX75mm) STRAPPING @ 12" O/C HORIZ. UNDER SHEATING FOR VERTICAL SIDING ONLY -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

TYPICAL EXTERIOR STUCCO WALL -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIEF

-1/2" (12.7mm) GYPSUM BOARD EXTERIOR SIDING FIREWALL 45 MIN. FIRE RESISTANCE RATING WALL ASSEMBLY THE SAME AS NOTE 2 WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

GARAGE WALLS WALL ASSEMBLY THE SAME AS NOTE (2) WITH THE FOLLOWING EXCEPTIONS -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O/C -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELETE INSULATION & 6 MIL AIR/VAPOUR BARRIER

TYPICAL EXTERIOR BRICK / STONE VENEER WALL 3 1/2" (90mm) FACE BRICK OR 4" (100mm) STONE. PROVIDE WEEP HOLES @ 2'-6" (800mm) @ BOTTOM COURSE & ABOVE ALL OPENINGS

-INTERIOR STAIR -6" (150mm) BASE FLASHING UP BEHIND WALL (GREATER THAN 2'0" (610mm) ABOVE GRADE) 1" (25mm) AIR SPACE -15lb (0.7 kg/m2) BUILDING PAPER (GREATER THAN 5'11" (1800mm) ABOVE GRADE) -GALV. METAL BRICK TIES @ 24" (600mm) H.O.C. AND -EXTERIOR STAIR 16" (400mm) V.O.C. -3/8" (10mm) EXTERIOR TYPE SHEATHING

-2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -GALV. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

EXTERIOR BRICK / STONE VENEER FIREWALL 45 MIN. FIRE RESISTANCE RATING WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

WITH THE FOLLOWING EXCEPTIONS -2"X4" (38mm X 89mm) STUDS @ 16" (400mm) O/C -1/2" (12 7mm) TYPF 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIER INT<u>ERIOR STUD WALLS</u>

O.C. OR 2"X6" (38mm X 140mm) WOOD STUDS @ 16" FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE -DOUBLE 2"X4" (38mm X 89mm) OR (38mm X 140mm) -3 STOREY BRICK - 26" X 9" (660mm X 230mm) 2"X6" TOP PLATES INTERIOR BEARING WALLS
SUPPORTING -SINGLE 2"X4" (38mm X 89mm) OR (38mm X 140mm) 2"X6" BOTTOM PLATE -2 STOREY MASONRY = 26" X 9" (650mm X 230mm) -1/2" (13mm) INTERIOR GYPSUM BOARD BOTH SIDES

-2 STOREY STUD = 18" X 6" (450mm X 150mm) **FOUNDATION WALL** -3 STOREY MASONRY = 36" X 14" (900mm X 360mm) *NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY -3 STOREY STUD = 24" X 8" (600mm X 200mm) SUPPORTED HEIGHT BEARING STUD WALL (BASEMENT) -8" (200mm) SOLID 2200psi (20MPa) CONCRETE

2-2"X4" (38mmX 89mm) WOOD STUDS OR 2"X6" (38mmX 140mm) WOOD STUDS @ 12" (300mm) O.C. -MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 6'-11" (2150mm) -DOUBLE 2"X4" OR 2"X6" TOP PLATE MEASURED FROM GRADE TO FINISHED BASEMENT -2"X4" OR 2"X6" SILL PLATE ON DAMPPROOFING MATERIAL 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 8'-0" (2.4m) O.C. *NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY -FOOTING AS PER 13 W/ 4" CONC. CURB

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3) 1/2" (89mm) DIA. X 0.118 (4.78mm) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 16000 LBS (71.2 kN) AT A MIN. EXTENSION OF 7'-7 1/2" (2318mm) CONFORMING TO CAN/CGSB-7.2-94, AND W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

CONTINUOUS KEY, RESTING ON UNDISTURBED SOIL

ROCK OR COMPACTED GRANULAR FILL W/ MIN.

*FTG_SIZES MAY BE REDUCED FOR SOILS WA

21.76psi (150kPa) BEARING CAPACITY

ENGINEERING REPORT)

(15A) STEEL PIPE COLUMN (see O.B.C. 9.15.3.3)) DIA, X 0.188 (4.78mm) FIXED STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 24000 LBS (108.6 kN) W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15 MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN B) -3 1/2" (89mm) DIA, X 0.188 (4.78mm) NON-ADJUSTABLE DIA. WEEPING TILE LAID ON UNDISTURBED STEEL COLUMN W/ 6"X6"X3/8" (150X150X9.5) STEEL TOP OR WELL COMPACTED SOIL. TOP OF WEEPING TILE TO PLATE & 4 1/2"X10"X1/2" (120X250X12.5) STEEL BOTTOM BE BELOW BTM OF FUR SUAB COVER TOP & SIDES OF PLATE W/ 2-1/2"DIA.X12"X2" (2-12mm DIA.X300 WEEPING TILE W/ 6" (150mm) OF CRUSHED STONE OR HOOK ANCHORS, FIFLD WELD COLUMN TO BASE PLATE PILASTERS / BEAM POCKETS DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL \ PILASTER

m X 200mm) POURED CONCRETE PEIR **BEAM POCKET** " (100mm) RECESSED INTO FDN. WALL, WIDTH TO MATCH BEAM SIZE W/ 1/2" (12.7mm) SPACE AROUND WOOD BEAMS

3 STEEL BEAM WOOD PLATE / STRAPPING "X6" PLATE BOLTED OR RAMSET TO STEEL BEAM FLANGE @ 16" O/C. JOISTS TO BE TOE NAILED TO PLATE. -1"X4" (19mm X 38mm) WOOD STRAPPING ON BOTH SIDES OF STEEL BEAM GARAGE SLAB

"(100mm) CONCRETE SLAB, 4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED GARAGE WALL & CEILING

2.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE & GARAGE TAPE AND SEAL ALL JOINTS GAS TIGHT -R22 (RSI 3.87) BATT INSULATION IN WALLS FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 & 9.25.4 FOR FLOOR ABOVE

GARAGE MAN DOOR TO BE GAS PROOFED WITH SELF CLOSER WEATHERSTRIPPING, THRESHOLD & DEADBOLT

21 PRECAST CONC. STEP -2 RISERS PERMITTED TO BE LAID ON GROUND MAX.

22 CAPPED DRYER VENT OBC 9.32.1.3(3)

ATTIC ACCESS HATCH 23 ATTIC ACCESS HATCH
-19 3/4" X 27 1/2" (500mmx700mm) ATTIC HATCH W/ WEATHER STRIPPING & BACKED W/ R40 (RSI 7.0) INSULATION

 $\langle 24 \rangle$ <u>LINEN CLOSET</u> -4 SHELVES MIN. 1'-2" (350mm) DEEP

ROOM TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR - SEALED W/ ALUM.

WOOD COLUMN 6" X 6" (140mm X 140mm) SOLID No.1 SPF METAL SHOE ANCHORED TO FTG. -25" X 25" X 12" (640mmX 640mmX 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9'-10" COL. SPACING)
-34" X 34" X 14" (860mmX 860mmX 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9'-10" COL. SPACING) RISERS, FOOTING TO BE MIN. 4'-0" (1.22mm) BELOW PORCH SLAB

-4"(100mm) CONCRETE SLAB, 4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR LINREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB 4" (100mm) OF COURSE -ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE

COMPACTED -4" (100mm) MAX. BETWEEN WOOD PICKETS PORCH SLAB ABOVE COLD CELLAR
*FOR PORCHES LESS THAN 8'0" DEEP $(2)^{-2" \times 4" (38mm \times 89mm)}$ SILL PLATE W/ 1/2" (12.7mm) -5" (130mm) 4650psi (32 MPa) CONC. SLAB W/ 5-8% AIR DIA. ANCHOR BOLTS @ 7'-10" (2.4m) O.C. FASTENED ENTRAINMENT TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN

-REINFORCE W/ 10M BARS @ 8" (200mm) O.C. EACH WAY PLACED IN BTM. THIRD OF SLAB -24"X24" (600X600mm) 10M DOWELS @ 16" (400mm) O.C. ANCHORED IN PERIMETER OF FDN. WALLS -SLOPE SLAB MIN. 1.5% TO EXTERIOR -PROVIDE L1+L7 LINTELS OR 2 - L7's BACK TO BACK OVER COLD CELLAR DOORS

-1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2.1m) O.C.

STRAPPING -1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" -FASTED TO SILL OR HEADER @ ENDS

29 BLOCK VENEER WALL m) CONCRETE BLOCK TO SUPPORT BRICK ABOVE. WALL AS PER NOTE (3) EXCEPT NO WEEP HOLES WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/6 mil POLYETHYLENE OR No.15 ROLL ROOFING

DOUBLE VOLUME WALL
FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. FOR HORIZ, DISTANCES NOT EXCEEDING 2900mm (9'-6") PROVIDE 38x140 (2"x6") STUDS @400mm (16") o.c. WITH A CONTINUOUS HEADER AT THE GROUND FLOOR CEILING LEVEL TOENAILED AND GLUED TO THE TOP PLATES. 1/2" EXT. PLYWOOD.

CONVENTIONAL ROOF & CEILING FRAMING -2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNI ESS OTHERWISE NOTED -HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1-1/2" (38mm) THICK

VAULTED OR CATHEDRAL CEILING APPROVED SCISSOR TRUSSES OR 2" X 10" (38mmX 235mm) W/ " (38mm) CROSS PURLINS -R31 (RSI 5.46) INSULATION, 3" (75mm) MIN. CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7 mm) GYPSUM BOARD

-6 MIL POLY AIR/VAPOUR BARRIER -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" -R22 (RSI 3.87) BATT INSULATION -7/16" (11mm) OSB SHEATHING ON ATTIC SIDE EXPOSED CANTILEVERED FLOOR LOOR ASSEMBLY AS PER NOTE(8 6 MIL POLY AIR/VAPOUR BARRIEI

-R31 (RSI 5.46) SPRAY FOAM INSULATION

WALLS ADJACENT TO ATTIC SPACE

-VENTED ALUMINUM SOFFIT UNSUPPORTED FDTN. WALLS @ OPENINGS & SUNKEN AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" UNSUPPORTED WALL LENGTH)
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" UNSUPPORTED WALL LENGTH) -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" UNSUPPORTED WALL LENGTH -BARS STACKED VERTICALLY @ INTERIOR FACE OF WALL SPACED 5" O.C. W/ 2" (50mm) CONCRETE COVER & EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

PROPOSED ELECTRICAL PANEL LOCATION -PROVIDE 2" X 4" SP#2 SUPPORT WALL ON INSIDE FACE OF CI BEHIND ELECTRICAL PANEL (PANEL LOCATION MAY

(39) ABOVE COOKTOP FIRE PROTECTION FRAMING, FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE A MIN. 2'-6" (750mm) CLEARANCE, UNLESS FRAMING FINISHES AND CABINETRY ARE NON-COMBUSTIBLE, OR ARE PROTECTED AS PER 9.10.22.2(2)(b)(i) AND (ii) (WHERE 24" (600mm) CLEAR REQ'D). MINIMUM 18" (450mm) BETWEEN COMBUSTIBLE FRAMING, FINISHES AND CABINETRY FROM WHERE THE RANGE IS TO BE LOCATED, PROTECTED BY MINIMUM 3/8" (9.5mm) GYPSUM BOARD. (NOT REQ'D WHERE COUNTER TOP SPLASH BOARDS OR BACK PLATES ARE

> SMOKE ALARM (O.B.C - 9.10.19.) PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS PROVIDE 1 IN EACH BEDROOM PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS LARMS TO BE CONNECTED IN CIRCUIT AND ITERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF NY ONE OF THEM SOUNDS. ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE OWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, OLLOWED BY 4 MINUTES OF ALARM SMOKE ALARMS SHALL HAVE A VISUAL COMPONENT AS PER 10.19.1.(2)

ARBON MONOXIDE ALARM (O.B.C. - 9.33.4.) E PROVIDED ADJACENT TO EACH SLEEPING AREA. MA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS VHEN ACTIVATED. WHERE A STORAGE GARAGE IS ATTACHED OR BUILT-IN, A MA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING

MINIMUM 3-2"X6" OR 3-2"X4" BUILT UP COLUMN TO MATCH WALL THICKNESS. SQUASH BLOCKS TO BE PROVIDED TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM

BUILT UP COLUMNS TO BE NAILED WITH 1 ROW FOR 2"X4" COLUMNS AND 2 ROWS, STAGGERED FOR 2"X6" COLUMNS, AT 8 1/2" O/C. NAIL LENGTH TO MATCH BUILT UP COLUMN **BASEMENT GENERAL NOTES** - ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING CAPACITY OF 150 KPA. (3135 PSF). (TO BE SITE VERIFIED

- BACKELL SHALL BE PLACED AND COMPACTED

- ALL EXPOSED CONCRETE TO BE 32 Mpa W/ 5-7%

ALL FOOTINGS TO HAVE MIN. 2-15M BARS CONT.

- WHEN VENEER CUT IS GREATER THAN 26" A 10"

POURED CONC. FDTN. WALL IS REQUIRED

PAD FOOTING SCHEDULE

24"x24"x12" POURED CONC. PAD

2 36"x36"x16" POURED CONC. PAD

3 42"x42"x19" POURED CONC. PAD

F4 48"x48"x22" POURED CONC. PAD

5 54"x54"x25" POURED CONC. PAD

6 60"x60"x28" POURED CONC. PAD

O BE SITE VERIFIED

REBAR NOTES

LL BOTTOM LOWER LEVEL

B.U.L BOTTOM UPPER LEVEL

.U.L TOP UPPER LEVEL

T.A.A. TOP ALL AROUND

B.E.W BOTTOM EACH WAY

WALL LEGEND

ASSUME SOIL BEARING CAPACITY 150 Kpa

VARYING WALL HEIGHT

DOUBLE VOLUME WALI

LOAD BEARING WALL

WALLS TO AVOID LATERAL LOADING.

EQUALLY ON BOTH SIDES OF GARAGE FOUNDATION

AFTER 28 DAYS.

GENERAL PURPOSE STEEL.

ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOW D BE A MIN. OF 2-2"X8" SPF#1 ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE AND SHALL BE A MIN. OF 4'0" BELOW FINISHED GRADE OTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWAL CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL BOTH SIDES HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE

TTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND STRUCTURAL STEEL MEMBERS AND INSERTS SHALL BE TRIPLE STUDS @ CORNERS CSA G.40.21-M350 AND EMBEDDED PLATES SHALL BE REFER TO ELOOR TRUSS SHOP DRAWINGS FOR ALL

GROUND FLOOR GENERAL NOTES

OOR FRAMING INFORMATION REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. ELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW RIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS REATER THAN 7'

CONTRACTOR TO VERIEY ALL FLOOR & ROOF RUSSES, DIMENSIONS AND ENGINEERING. ANY DISCREPANCIES SHALL BE REPORTED TO 1 RISER DESIGNS PRIOR TO CONSTRUCTION.

3 1/2"DIA. 1/4" THICK W/ 10"X10"X1/2" BASE PL. W/

WB2 3 - 2"X8" SP#2

WB3 4 - 2"X8" SP#

WB4 2 - 2"X10" SP#

WB5 3 - 2"X10" SP#

WB6 4 - 2"X10" SP#

WB7 2 - 2"X12" SP#

. WB8 3 - 2"X12" SP#

WB9 4 - 2"X12" SP#

STEEL COLUMN SCHEDULE

DIA. ANCHOR BOLTS W/ 4 BOLTS

2-3/4" 4 - 1 DIA. ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

@ 4 - 3/4" DIA. ANCHOR BOLTS

1 2 - 2"X8" SP#2

L2 3 - 2"X8" SP#2

L3 2 - 2"X10" SP#2

_4 3 - 2"X10" SP#2

L5 2 - 2"X12" SP#2

L6 3 - 2"X12" SP#2

7 3 1/2" x 3 1/2" x 1/4" (90x90x6) L

_8 | 3 1/2" x 3 1/2" x 5/16"(90x90x8) L

L9 4" x 3 1/2" x 1/4" (100x90x6) L

10 5" x 3 1/2" x 5/16" (125x90x8)

1 5" x 3 1/2" x 3/8" (125x90x10)

CONC. 4-15m BARS OVER OPENING, EXTENDED

EAM 24" BELOW OPENING W/ 1RE 0m

STIR-UPS @ 12" O/C

_12 6" x 4" x 3/8" (150x100x10) L

SECOND FLOOR GENERAL NOTES ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN

O BE A MIN. OF 2-2"X8" SPF#2 - ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE NOTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWALL BOTH SIDES

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE OTTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND TRIPLE STUDS @ CORNERS REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF

RAMING INFORMATION CONTRACTOR TO VERIFY ALL FLOOR & ROOF RUSSES DIMENSIONS AND ENGINEERING ANY DISCREPANCIES SHALL BE REPORTED TO 1 RISER ESIGNS PRIOR TO CONSTRUCTION.

DOOR SCHEDULE 2'-10" x 6'-8" - INSULATED ENTRANCE DOOR 4"X4"X1/4" H.S.S. W/ 6"X10"X1/2" BASE PLATE & 2-3/4" 2'-8" x 6'-8" - INSULATED FRONT DOORS 2'-8" x 6'-8" - WOOD & GLASS DOOR 6" X 6" X 3/8" THICK W/ 12" X 12" X 1/2" BASE PLATE 2'-8" x 6'-8" x 1-3/4" - EXTERIOR SLAB DOOR 3'-0" X 6'-8" X 1-3/4" - EXTERIOR SLAB DOOR 5" X 5" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-8" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR 4" X 4" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR 2'-2" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR M" 25KN/m2 - USE 4 BOLTS FOR MOMENT CONNECTION 1'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR WOOD/STEEL LINTELS WOOD BEAMS 2'-0" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR VB1 2 - 2"X8" SP#2

2-4" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR

ELEV. B

Sq. Ft.

Sq. Ft.

Sq. Ft.

Sq. Ft.

Sq. Ft.

Sa. Ft.

Sq. m.

Sq. Ft.

Sq. m.

1044

1488

2532

0

0

0

58

2590.00

1044

460

40

1544

143.44

1504

= 139.73

t is the builder's complete responsibility ensure that all plans submitted for approensure that all plans submitted for approving fully comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contra Architect is not responsible in any way for examining or approving site (lotting) plans covorking drawings with respect to any zoning obtiliding code or permit matter or that an house can be properly built or located on its lot

Appendix C

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN OWILLIAMS LIMITED, ARCHITECT certify the the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Desig Group, Development Services Co

NS	EL EL	EV. A	FLOOR AREA CALCULATION	ONS	;
=	1029	Sq. Ft.	GROUND FLOOR AREA	=	
=	1494	Sq. Ft.	SECOND FLOOR AREA	=	
=	2523	Sq. Ft.	TOTAL FLOOR AREA	=	:
=	0	Sq. Ft.	LOFT FLOOR OPEN AREA	=	
=	0	Sq. Ft.	2nd FLOOR OPEN AREA	=	
=	0	Sq. Ft.	ADD TOTAL OPEN AREAS	=	
=	58	Sq. Ft.	ADD FIN. BASEMENT AREA	=	
=	2581.00	Sq. Ft.	GROSS FLOOR AREA	=	25
=	1029	Sq. Ft.	GROUND FLOOR COVERAGE	=	
=	466	Sq. Ft.	GARAGE AREA	=	
=	44	Sq. Ft.	PORCH AREA	=	
=	1539	Sq. Ft.	TOTAL COVERAGE W/ PORCH	=	
=	142.98	Sq. m.		=	1
=	1495	Sq. Ft.	TOTAL COVERAGE W/O PORCH	=	Ţ.
=	138.89	Sq. m.		=	1
	= = = = = = = = = = = = = = = = = = = =	= 1029 = 1494 = 2523 = 0 = 0 = 0 = 58 = 2581.00 = 1029 = 466 = 44 = 1539 = 142.98 = 1495	= 1029 Sq. Ft. = 1494 Sq. Ft. = 2523 Sq. Ft. = 0 Sq. Ft. = 0 Sq. Ft. = 0 Sq. Ft. = 58 Sq. Ft. = 2581.00 Sq. Ft. = 1029 Sq. Ft. = 466 Sq. Ft. = 44 Sq. Ft. = 1539 Sq. Ft. = 142.98 Sq. m. = 1495 Sq. Ft.	= 1029 Sq. Ft. GROUND FLOOR AREA = 1494 Sq. Ft. SECOND FLOOR AREA = 2523 Sq. Ft. TOTAL FLOOR AREA = 0 Sq. Ft. LOFT FLOOR OPEN AREA = 0 Sq. Ft. 2nd FLOOR OPEN AREA = 0 Sq. Ft. ADD TOTAL OPEN AREAS = 58 Sq. Ft. GROSS FLOOR AREA = 2581.00 Sq. Ft. GROSS FLOOR AREA = 1029 Sq. Ft. GROUND FLOOR COVERAGE = 466 Sq. Ft. GARAGE AREA = 44 Sq. Ft. PORCH AREA = 1539 Sq. Ft. TOTAL COVERAGE W/ PORCH = 1495 Sq. Ft. TOTAL COVERAGE W/O PORCH	= 1029 Sq. Ft. GROUND FLOOR AREA = = 1494 Sq. Ft. SECOND FLOOR AREA = = 2523 Sq. Ft. TOTAL FLOOR AREA = = 0 Sq. Ft. LOFT FLOOR OPEN AREA = = 0 Sq. Ft. ADD TOTAL OPEN AREA = = 0 Sq. Ft. ADD FIN. BASEMENT AREA = = 2581.00 Sq. Ft. GROUND FLOOR COVERAGE = = 1029 Sq. Ft. GROUND FLOOR COVERAGE = = 466 Sq. Ft. GARAGE AREA = = 44 Sq. Ft. GARAGE AREA = = 142.98 Sq. m. = TOTAL COVERAGE W/O PORCH = = 1495 Sq. Ft. TOTAL COVERAGE W/O PORCH =

FLOOR AREA CALCULATION	NS	EL EL	EV. C
GROUND FLOOR AREA	=	1029	Sq. Ft.
SECOND FLOOR AREA	=	1499	Sq. Ft.
TOTAL FLOOR AREA	=	2528	Sq. Ft.
LOFT FLOOR OPEN AREA	=	0	Sq. Ft.
2nd FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	58	Sq. Ft.
GROSS FLOOR AREA	=	2586.00	Sq. Ft.
GROUND FLOOR COVERAGE	=	1029	Sq. Ft.
GARAGE AREA	=	466	Sq. Ft.
PORCH AREA	=	40	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1535	Sq. Ft.
	=	142.61	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1495	Sq. Ft.
	=	138.89	Sq. m.

GLAZING CALCULATION CHA	ART EL. A
GRADE TO SECOND FLOOR	11.75 ft.
SECOND FLOOR TO TOP OF PLATE	8.03 ft.
GROUND FLOOR PERIMETER	164.33 ft.
SECOND FLOOR PERIMETER	164.33 ft.
TOTAL WALL AREA	3251.01 s.f.
GLAZING FRONT ELEVATION	85.56 s.f.
GLAZING LEFT SIDE ELEVATION	200.78 s.f.
GLAZING RIGHT SIDE ELEVATION	0.00 s.f.
GLAZING REAR ELEVATION	136.00 s.f.
TOTAL GLAZING AREA	422.34 s.f.
ALLOWABLE GLAZING AREA	17 %
GLAZING AREA	12.99%

GLAZING CALCULATION CHA	ART EL. B
GRADE TO SECOND FLOOR	11.75 ft.
SECOND FLOOR TO TOP OF PLATE	8.03 ft.
GROUND FLOOR PERIMETER	167.33 ft.
SECOND FLOOR PERIMETER	164.33 ft.
TOTAL WALL AREA	3286.30 s.f.
GLAZING FRONT ELEVATION	90.20 s.f.
GLAZING LEFT SIDE ELEVATION	196.91 s.f.
GLAZING RIGHT SIDE ELEVATION	0.00 s.f.
GLAZING REAR ELEVATION	136.00 s.f.
TOTAL GLAZING AREA	423.11 s.f.
ALLOWABLE GLAZING AREA	17 %
GLAZING AREA	12.87%

L	GLAZING CALCULATION CHA	ART EL. C
	GRADE TO SECOND FLOOR	11.75 ft.
	SECOND FLOOR TO TOP OF PLATE	8.03 ft.
	GROUND FLOOR PERIMETER	164.33 ft.
L	SECOND FLOOR PERIMETER	169.33 ft.
	TOTAL WALL AREA	3291.22 s.f.
Г	GLAZING FRONT ELEVATION	79.33 s.f.
	GLAZING LEFT SIDE ELEVATION	203.89 s.f.
	GLAZING RIGHT SIDE ELEVATION	0.00 s.f.
	GLAZING REAR ELEVATION	136.00 s.f.
	TOTAL GLAZING AREA	419.22 s.f.
	ALLOWABLE GLAZING AREA	17 %
	GLAZING AREA	12.74%

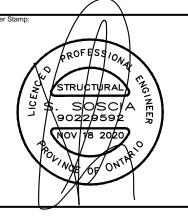
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				1
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5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP	1
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP	
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP	l
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP]
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP	
#	Description	Date:	Ву:]
RE	VISIONS			L



20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3 PHONE: (905) 669-2111 FAX: 1 (866) 602-1163 WWW.ONERISER.CA

CONSTRUCTION NOTES

27816 32026 1 RISER DESIGNS In



TREASURE HILL

AR CITY OF

ANCIA	REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCIN ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATINSUED FOR CONSTRUCTION.
MARKHAM	DO NOT SCALE DRAWINGS.

DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ON

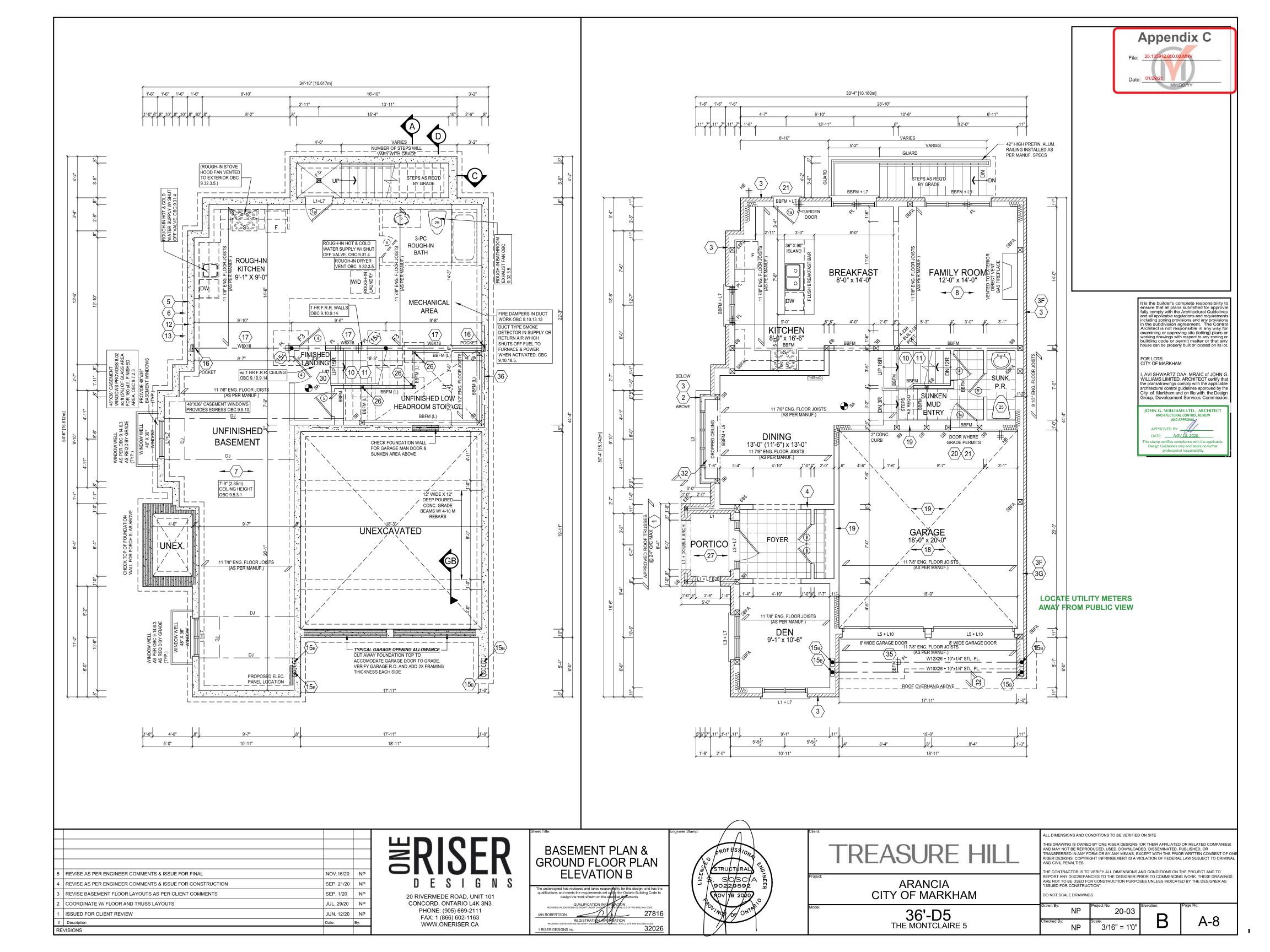
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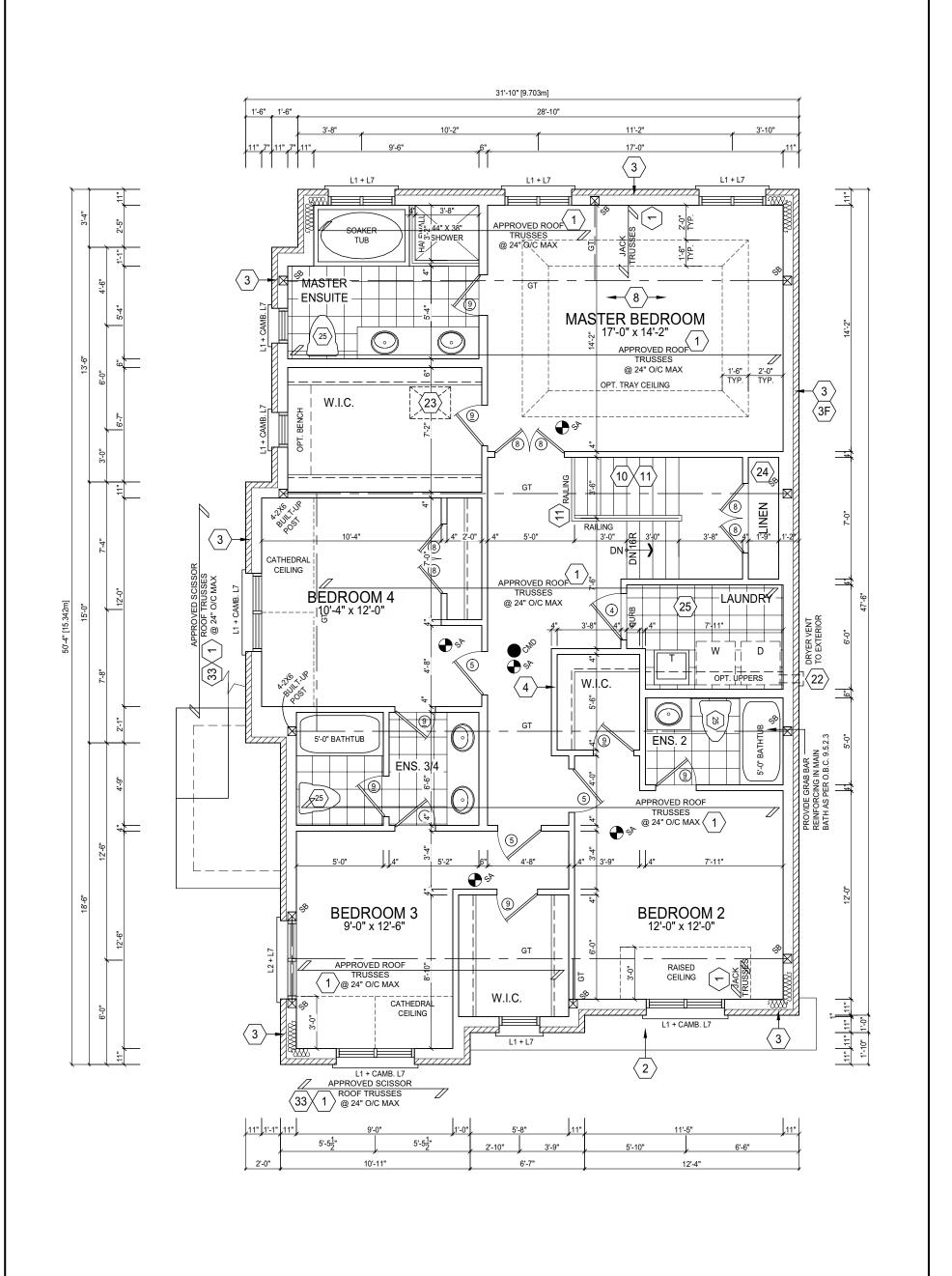
THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO

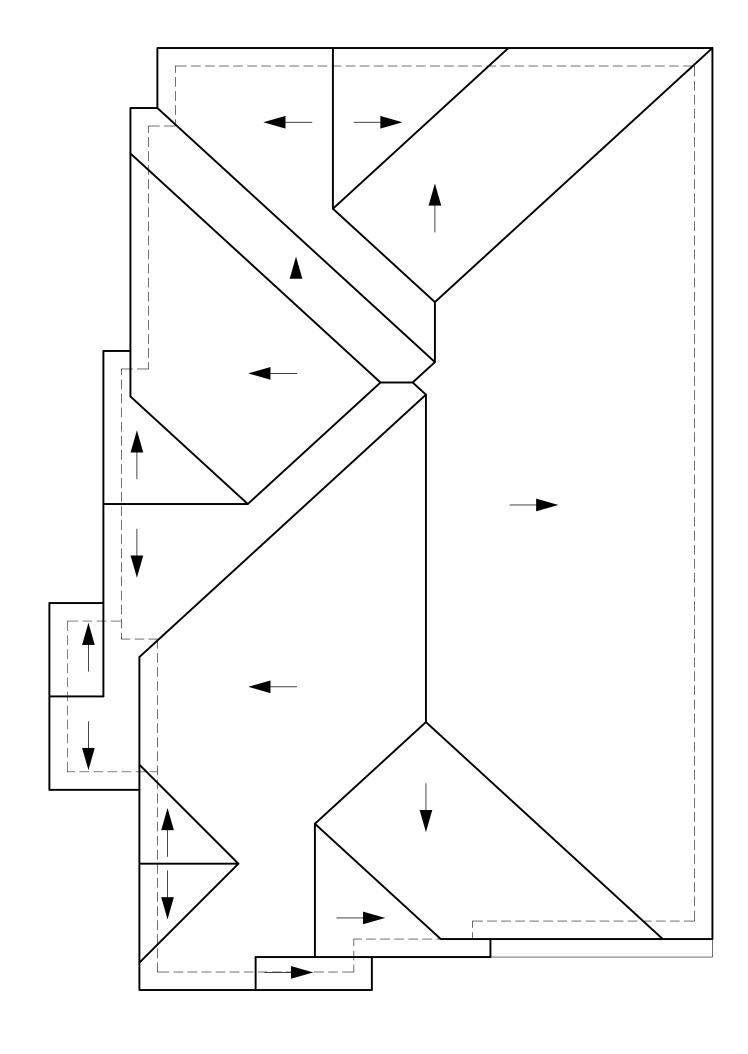
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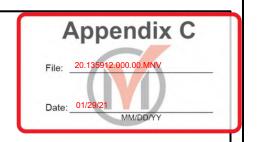
3/16" = 1'0

36'-D5 THE MONTCLAIRE 5 NP









FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN G WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: NOV 18, 2020.
This stamp certifies compliance with the applicable Design Guidelines only and bears no further supports in the professional repropulsibility.

5 REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL

NOV.16/20 NP

4 REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION

REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS

COORDINATE W/ FLOOR AND TRUSS LAYOUTS

JUL. 29/20 NP

I ISSUED FOR CLIENT REVIEW

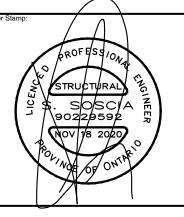
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Description

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> 36'-D5 THE MONTCLAIRE 5

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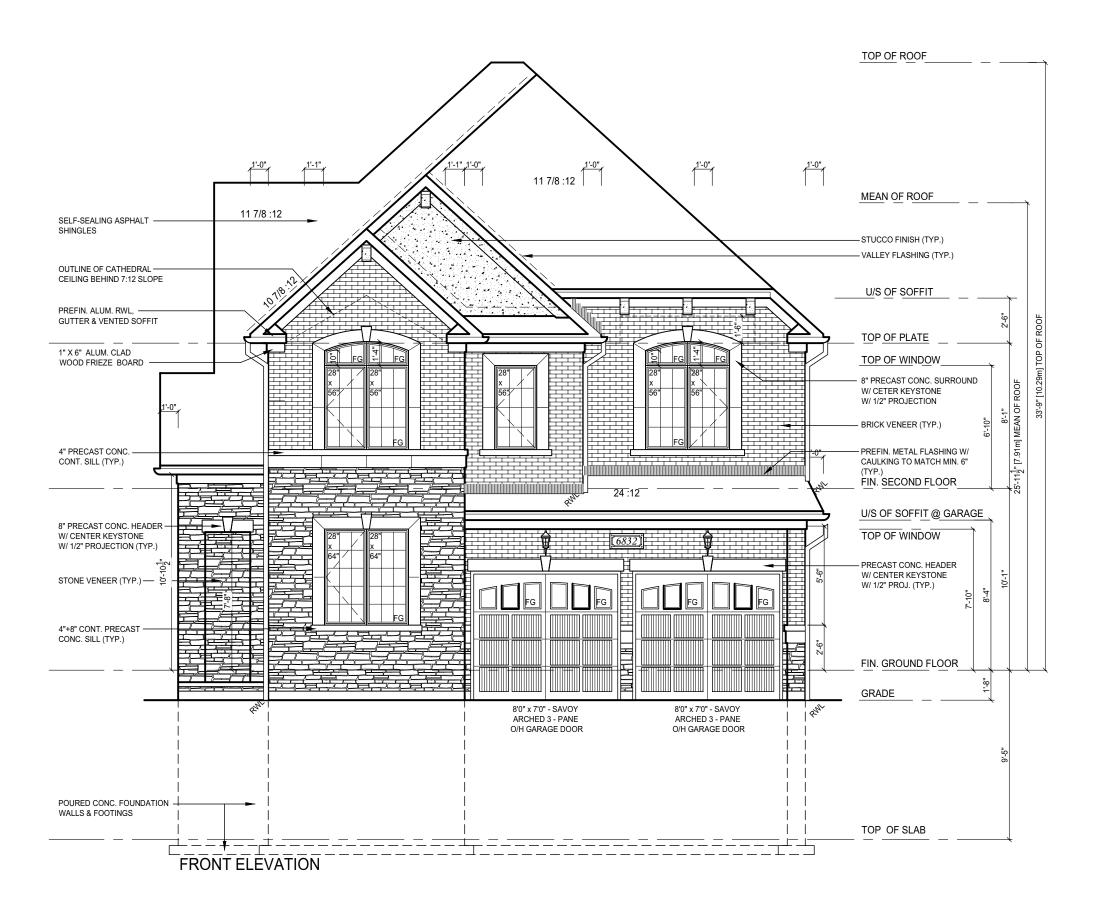
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20-03 Scale: 3/16" = 1'0"





I, AVI SHWARTZ OAA, MRAIC of JOHN G WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW DATE: <u>NOV 18, 2020</u>

REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
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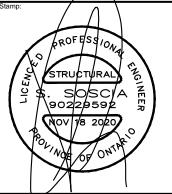


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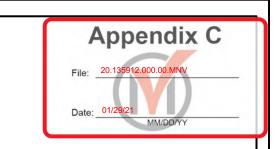
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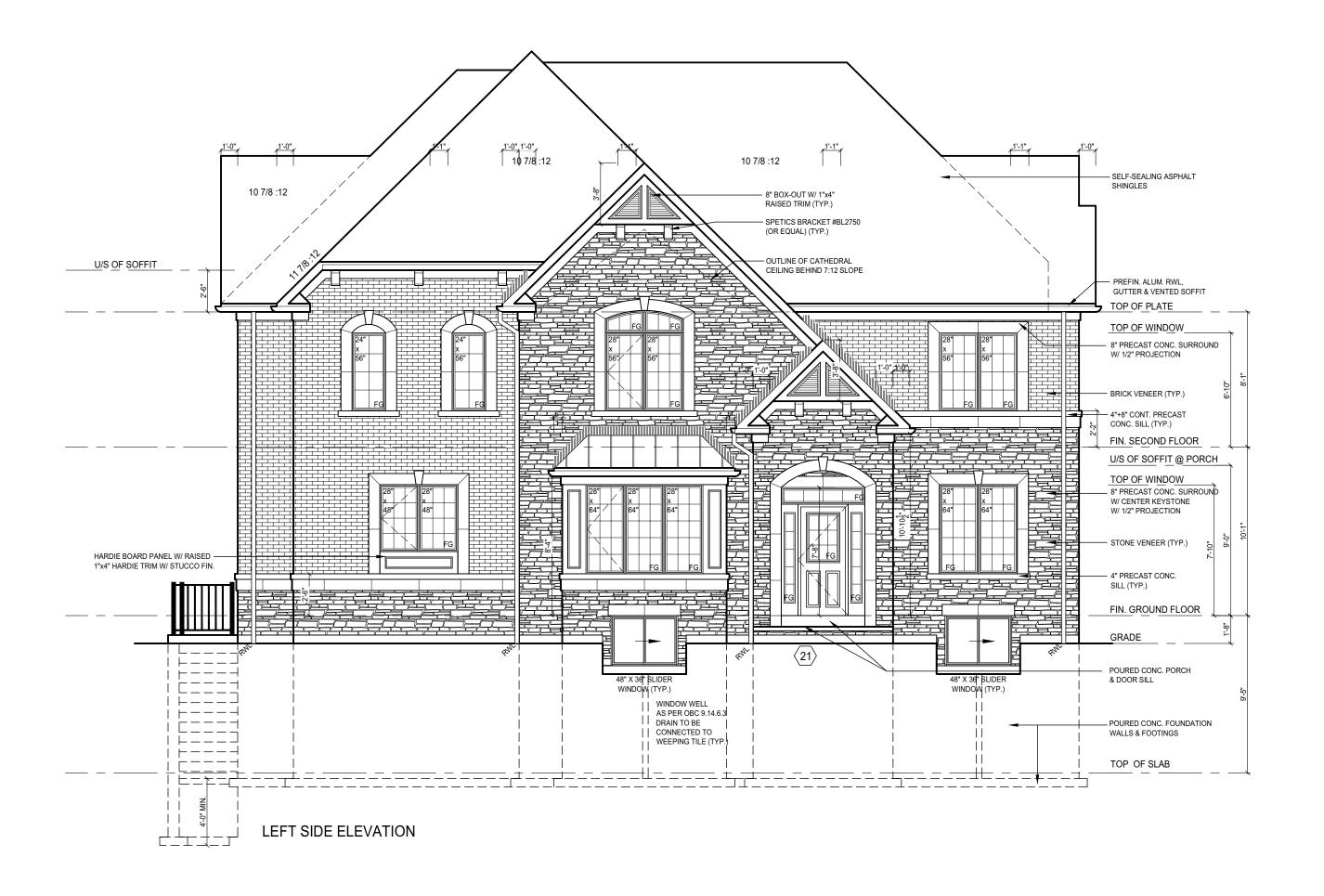
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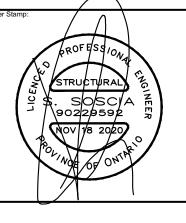
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JUL. 29/20	NP
JUN. 12/20	NP
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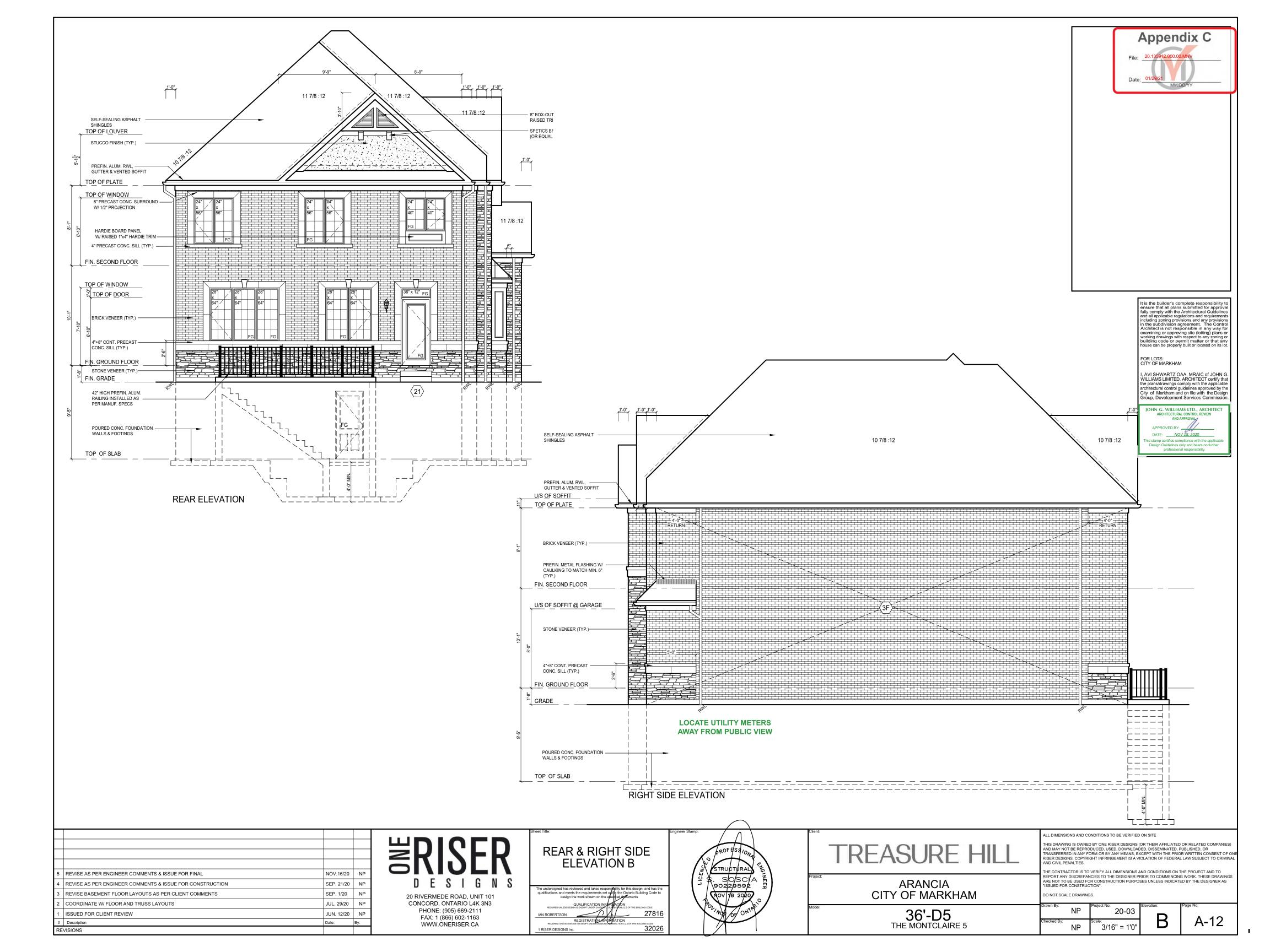
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В A-11



NOTES

(UNLESS OTHERWISE NOTED)

SB-12

2"X4" (38mm X 89mm) WOOD STUDS @ 16" (400mm)

-ALL CONSTRUCTION TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE (OBC), ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION. -ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED

TYPICAL FRAME CONSTRUCTION UNLESS NOTED OTHERWISE -JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS -DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN

EXTERIOR WALLS -DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m) -DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m) -DOUBLE JOISTS UNDER PARALLEL PARTITIONS -BEAM TO BE PLACED UNDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS -BEAM MAY BE A MAX. 24" (600mm) FROM A LOADBEARING WALL WHEN THAT WALL IS

PERPENDICULAR TO FLOOR JOISTS -METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND

SUPPORTS FOR 2" X 8" (38mm X 184mm) -FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER -ALL STEEL BEAMS TO BE GRADE 350W -LAMINATED VENEER LUMBER(LVL) TO BE GRADE 1.9E OR BETTER (MODULUS OF ELASTICITY, E=1.9X10⁶ psi) TYPICAL ROOF CONSTRUCTION

-NO. 210 (30.5 kg/m2) ASPHALT SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE

EAVES PROTECTION TO EXTENT UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 1'-0" (300mm) PAST THE INSIDE FACE OF THE EXTERIOR WALL -FAVES PROTECTION I AID BENEATH STARTER STRIP -STARTER STRIP AS PER OBC 9.26.7. (STARTER STRIP NOT REQUIRED IF TYPE M ROLLED ROOFING IS USED

FOR EAVES PROTECTION) -3/8" (10mm) PLYWOOD SHEATHING OR OSB (O-2 GRADE) WITH "H" CLIPS

-APPROVED WOOD TRUSSES @ 24" O/C -TRUSS BRACING AS PER TRUSS MANUFACTURER -METAL EAVESTROUGH ON PREFINISHED ALUMINUM FASCIA & ALUMINUM VENTED SOFFIT -ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT THE SOFFIT

TYPICAL EXTERIOR SIDING WALL -VINYL SIDING (HORIZONTAL, VERTICAL, SHAKE OR

SCALLOP) -6" (150mm) BASE ELASHING LIP BEHIND WALL SHÈATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING *PROVIDE 1"X3" (25mmX75mm) STRAPPING @ 12" O/C HORIZ. UNDER SHEATING FOR VERTICAL SIDING ONLY -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

TYPICAL EXTERIOR STUCCO WALL -6" (150mm) BASE FLASHING UP BEHIND WALL SHEATHING MEMBRANE -15lb (0.7 kg/m2) BUILDING PAPER -3/8" (10mm) EXTERIOR TYPE SHEATHING -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -MIN. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIEF

-1/2" (12.7mm) GYPSUM BOARD EXTERIOR SIDING FIREWALL 45 MIN. FIRE RESISTANCE RATING WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

GARAGE WALLS WALL ASSEMBLY THE SAME AS NOTE (2) WITH THE FOLLOWING EXCEPTIONS -2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O/C -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD -DELETE INSULATION & 6 MIL AIR/VAPOUR BARRIER

TYPICAL EXTERIOR BRICK / STONE 3 1/2" (90mm) FACE BRICK OR 4" (100mm) STONE. PROVIDE WEEP HOLES @ 2'-6" (800mm) @ BOTTOM COURSE & ABOVE ALL OPENINGS

-INTERIOR STAIR -6" (150mm) BASE FLASHING UP BEHIND WALL (GREATER THAN 2'0" (610mm) ABOVE GRADE) 1" (25mm) AIR SPACE -15lb (0.7 kg/m2) BUILDING PAPER (GREATER THAN 5'11" (1800mm) ABOVE GRADE) -GALV. METAL BRICK TIES @ 24" (600mm) H.O.C. AND -EXTERIOR STAIR 16" (400mm) V.O.C. -3/8" (10mm) EXTERIOR TYPE SHEATHING

-2"X6" (38mm X 140mm) STUDS @ 16" (400mm) O.C. -GALV. R-22 (3.87 RSI) INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7mm) GYPSUM BOARD

EXTERIOR BRICK / STONE VENEER FIREWALL 45 MIN. FIRE RESISTANCE RATING
WALL ASSEMBLY THE SAME AS NOTE 3 WITH THE FOLLOWING EXCEPTIONS: -MIN. R-22 (3.87 RSI) INSULATION W/ A MASS OF 0.032 kg/m2 PER 1mm OF THICKNESS -1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

WITH THE FOLLOWING EXCEPTIONS -2"X4" (38mm X 89mm) STUDS @ 16" (400mm) O/C -1/2" (12 7mm) TYPF 'X' GYPSUM BOARD -DELÈTE INSULATION & 6 MIL AIR/VAPOUR BARRIER INT<u>ERIOR STUD WALLS</u>

-10" (250mm) SOLID 2200psi (25MPa) CONCRETE

MAX_SUPPORTED HEIGHT OF 9'-4" (2850mm)

-INSULATE W/ R-20 (RSI 3.52) CONTINUOUS

REQUIRE DAMPPROOFING)

9.13.3.3(3))

INSULATION ON INTERIOR SIDE OF FDN WALL.

9.13.3.2 (FINISHED BASEMENTS SHALL HAVE

TO GRADE LEVEL & SHALL CONFORM TO OBC

-DRAINAGE LAYER SHALL BE PROVIDED IN

CONFORMANCE TO OBC 9.14.2.1(2)(3)(4))

-MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) &

MEASURED FROM GRADE TO FINISHED BASEMENT

-WHERE HYDROSTATIC PRESSURE OCCURS, FDN.

9.13.5 (WALLS THAT ARE WATERPROOFED DO NOT

-BITMINOUS DAMP PROOFING AS PER OBC 9.13.3.1 &

INTERIOR DAMPPROOFING EXTENDING FROM SLAB

-BACKFILL W/ NON-FROST SUSCEPTIBLE SOIL -WALL

SHALL EXTEND A MIN. 6" (150mm) ABOVE GRADE

OTHER COURSE CLEAN GRANULAR MATERIAL AND

BASEMENT SLAB / SLAB ON GRADE

(75mm) SOLID 3600psi (25MPa) CONCRETE

(0.15mm) POLYETHYLENE OR TYPE S ROLL ROOFING

BE OMITTED IF CONCRETE HAS MIN 3600psi (25MPa)

-PROVIDE BOND BREAKING MATERIAL BETWEEN

-WHERE RADON EXISTS THE PERIMETER OF SLAB

AND ANY PENETRATIONS OF THE SLAB SHALL BE

SEALED AGAINST SOIL GAS LEAKAGE WITH FLEXIBLE

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION UNDER

ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN

(16mm) T & G SPRUCE PLYWOOD OR

-FLOOR JOISTS AS PER FLOOR PLANS (JOISTS

-5/8" (15.8 mm) GYPSUM BOARD OR 1/2" CEILING

= 7-7/8" (200mm

= 10" (255mm)

= 1" (25mm) = 6'-5" (1950mm)

= 2'-10" (860mm)

= 2'-11" (900mm

= 5-7/8" (150mm)

= 7-7/8" (200mm

= 3'-6" (1070mm)

= 2'-11" (900mm)

= 2'-11" (900mm)

EQUIVALENT AS PER 9.23.14.5, 9.30.2.2, & 9.30.2.3, &

SPACED @ 12" (300mm) O.C. UNDER CERAMIC TILE)

N/12" (300mm) LAPPED JOINTS (DAMPPROOFING MAY

SLAB-DAMPPROOF BELOW SLAB W/MIN. 0.006

-5" (100mm) OF 3/4" CLEAR STONE BASE

SEALANT CONFORMING TO O.B.C. 9.10.13.7

-PROVIDE R-10 (RSI 1.76) RIGID INSULATION AT

PERIMETER OF SLAB WHERE GRADE IS WITHIN

23 1/2" (600mm) OF BASEMENT SLAB EDGE.

INSULATION TO EXTEND TO NOT LESS THAN

IT SHALL CONFORM TO OBC 9.13.7.

(O.B.C. SB-12 - 3.1.1.7 (5)).

23 1/2" (600mm) OF GRADE

-R-60 (RSI 10 56) INSULATION

BOARD (12.7 mm)

-MAX RISE

-MIN. RUN

-MIN RUN

-MIN. AVG. RUN

SILL PLATE

ON FULL BED OF MORTAR

-MAX. NOSING

-MIN. HEADROOM

(BETWEEN WALL FACES)

FOR CURVED STAIRS

RAILINGS / GUARDS

-6 MIL POLY AIR/VAPOUR BARRIER

STAIRS INTERIOR & EXTERIOR

(EXIT STAIRS, BETWEEN GUARDS)

0" (254mm) RUN & 8" (200mm) RIS

NOTE: FOR EXTERIOR CONC. STEPS

-FOUNDATION WALL REQUIRED FOR 3 OR MORE

WALL SILL PLATE TO BE CAULKED OR PLACED ON MINERAL WOOL OR FOAM GASKET NOT LESS THAN 1'

(25mm) THICK BEFORE COMPRESSING, OR PLACED

FLOOR ASSEMBLY

9 CEILING

WALLS SHALL BE WATERPROOFED AS PER OBC

O.C. OR 2"X6" (38mm X 140mm) WOOD STUDS @ 16" FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE -DOUBLE 2"X4" (38mm X 89mm) OR (38mm X 140mm) -3 STOREY BRICK - 26" X 9" (660mm X 230mm) 2"X6" TOP PLATES INTERIOR BEARING WALLS
SUPPORTING -SINGLE 2"X4" (38mm X 89mm) OR (38mm X 140mm) 2"X6" BOTTOM PLATE -2 STOREY MASONRY = 26" X 9" (650mm X 230mm) -1/2" (13mm) INTERIOR GYPSUM BOARD BOTH SIDES

-2 STOREY STUD = 18" X 6" (450mm X 150mm) **FOUNDATION WALL** -3 STOREY MASONRY = 36" X 14" (900mm X 360mm) *NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY -3 STOREY STUD = 24" X 8" (600mm X 200mm) BEARING STUD WALL (BASEMENT) -8" (200mm) SOLID 2200psi (20MPa) CONCRETE

2-2"X4" (38mmX 89mm) WOOD STUDS OR 2"X6" (38mmX 140mm) WOOD STUDS @ 12" (300mm) O.C. -MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT OF 6'-11" (2150mm) -DOUBLE 2"X4" OR 2"X6" TOP PLATE MEASURED FROM GRADE TO FINISHED BASEMENT -2"X4" OR 2"X6" SILL PLATE ON DAMPPROOFING MATERIAL 1/2" (12.7mm) DIA. ANCHOR BOLTS @ 8'-0" (2.4m) O.C. *NOT EXCEEDING 9'-10" (3000mm) IN LATERALLY -FOOTING AS PER 13 W/ 4" CONC. CURB

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3) 1/2" (89mm) DIA. X 0.118 (4.78mm) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 16000 LBS (71.2 kN) AT A MIN. EXTENSION OF 7'-7 1/2" (2318mm) CONFORMING TO CAN/CGSB-7.2-94, AND W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15MPa) POLIRED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa MINIMUM AND AS SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

CONTINUOUS KEY, RESTING ON UNDISTURBED SOIL

ROCK OR COMPACTED GRANULAR FILL W/ MIN.

*FTG. SIZES MAY BE REDUCED FOR SOILS WA

21.76psi (150kPa) BEARING CAPACITY

ENGINEERING REPORT)

STEEL PIPE COLUMN (see O.B.C. 9.15.3.3) W/ MIN. ALLOWABLE LOAD OF 24000 LBS (108.6 kN) W/ 6"X6"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM. -2200 psi (15 MPa) POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SOIL REPORTS. FOOTING SIZES MAY VARY, REFER TO

STEEL PIPE COLUMN 3 1/2" (89mm) DIA, X 0.188 (4.78mm) NON-ADJUSTABLE DIA. WEEPING TILE LAID ON UNDISTURBED STEEL COLUMN W/ 6"X6"X3/8" (150X150X9.5) STEEL TOP OR WELL COMPACTED SOIL. TOP OF WEEPING TILE TO PLATE & 4 1/2"X10"X1/2" (120X250X12.5) STEEL BOTTOM BE BELOW BTM OF FUR SUAB COVER TOP & SIDES OF PLATE W/ 2-1/2"DIA.X12"X2" (2-12mm DIA.X300 WEEPING TILE W/ 6" (150mm) OF CRUSHED STONE OR HOOK ANCHORS, FIELD WELD COLUMN TO BASE PLATE PILASTERS / BEAM POCKETS DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

m X 200mm) POURED CONCRETE PEIR **BEAM POCKET** " (100mm) RECESSED INTO FDN. WALL, WIDTH TO MATCH BEAM SIZE W/ 1/2" (12.7mm) SPACE AROUND WOOD BEAMS

STEEL BEAM WOOD PLATE / STRAPPING FLANGE @ 16" O/C. JOISTS TO BE TOE NAILED TO PLATE. -1"X4" (19mm X 38mm) WOOD STRAPPING ON BOTH SIDES OF STEEL BEAM GARAGE SLAB

mm) CONCRETE SLAB 4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR -4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED GARAGE WALL & CEILING

2.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE & GARAGE TAPE AND SEAL ALL JOINTS GAS TIGHT -R22 (RSI 3.87) BATT INSULATION IN WALLS FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ OBC 9.25.3 & 9.25.4 FOR FLOOR ABOVE

GARAGE MAN DOOR TO BE GAS PROOFED WITH SELF CLOSER VEATHERSTRIPPING, THRESHOLD & DEADBOLT

21 PRECAST CONC. STEP -2 RISERS PERMITTED TO BE LAID ON GROUND MAX.

 $\langle 22 \rangle$ CAPPED DRYER VENT OBC 9.32.1.3(3)

ATTIC ACCESS HATCH 23 ATTIC ACCESS HATCH
-19 3/4" X 27 1/2" (500mmx700mm) ATTIC HATCH W/ WEATHER STRIPPING & BACKED W/ R40 (RSI 7.0) INSULATION

 $\langle 24 \rangle$ <u>LINEN CLOSET</u> -4 SHELVES MIN. 1'-2" (350mm) DEEP

ROOM TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR - SEALED W/ ALUM.

WOOD COLUMN 6" X 6" (140mm X 140mm) SOLID No.1 SPF METAL SHOE ANCHORED TO FTG. -25" X 25" X 12" (640mmX 640mmX 300mm) CONC. PAD (1 FLOOR SUPPORTED W/ 9'-10" COL. SPACING)
-34" X 34" X 14" (860mmX 860mmX 360mm) CONC. PAD (2 FLOORS SUPPORTED W/ 9'-10" COL. SPACING) RISERS, FOOTING TO BE MIN. 4'-0" (1.22mm) BELOW PORCH SLAB

-4"(100mm) CONCRETE SLAB, 4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR LINREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB 1" (100mm) OF COURSE -ANY FILL PLACED UNDER SLAB, OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE

COMPACTED -4" (100mm) MAX. BETWEEN WOOD PICKETS PORCH SLAB ABOVE COLD CELLAR
*FOR PORCHES LESS THAN 8'0" DEEP 2 -2" X 4" (38mm X 89mm) SILL PLATE W/ 1/2" (12.7mm) -5" (130mm) 4650psi (32 MPa) CONC. SLAB W/ 5-8% AIR DIA. ANCHOR BOLTS @ 7'-10" (2.4m) O.C. FASTENED ENTRAINMENT TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN

-REINFORCE W/ 10M BARS @ 8" (200mm) O.C. EACH WAY PLACED IN BTM. THIRD OF SLAB -24"X24" (600X600mm) 10M DOWELS @ 16" (400mm) O.C. ANCHORED IN PERIMETER OF FDN. WALLS -SLOPE SLAB MIN. 1.5% TO EXTERIOR -PROVIDE L1+L7 LINTELS OR 2 - L7's BACK TO BACK OVER COLD CELLAR DOORS

-1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2.1m) O.C.

STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" -FASTED TO SILL OR HEADER @ ENDS

29 BLOCK VENEER WALL 4" (100mm) CONCRETE BLOCK TO SUPPORT BRICK ABOVE. WALL AS PER NOTE (3) EXCEPT NO WEEP HOLES WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/6 mil POLYETHYLENE OR No.15 ROLL ROOFING

DOUBLE VOLUME WALL
FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. FOR HORIZ, DISTANCES NOT EXCEEDING 2900mm (9'-6") PROVIDE 38x140 (2"x6") STUDS @400mm (16") o.c. WITH A CONTINUOUS HEADER AT THE GROUND FLOOR CEILING LEVEL TOENAILED AND GLUED TO THE TOP PLATES. 1/2" EXT. PLYWOOD.

CONVENTIONAL ROOF & CEILING FRAMING -2"X4" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED -HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1-1/2" (38mm) THICK

VAULTED OR CATHEDRAL CEILING APPROVED SCISSOR TRUSSES OR 2" X 10" (38mmX 235mm) W/ " (38mm) CROSS PURLINS -R31 (RSI 5.46) INSULATION, 3" (75mm) MIN. CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -6 MIL POLY AIR/VAPOUR BARRIER -1/2" (12.7 mm) GYPSUM BOARD

-6 MIL POLY AIR/VAPOUR BARRIER -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" -R22 (RSI 3.87) BATT INSULATION -7/16" (11mm) OSB SHEATHING ON ATTIC SIDE EXPOSED CANTILEVERED FLOOR

6 MIL POLY AIR/VAPOUR BARRIEI

-R31 (RSI 5.46) SPRAY FOAM INSULATION

WALLS ADJACENT TO ATTIC SPACE

-VENTED ALUMINUM SOFFIT UNSUPPORTED FDTN. WALLS @ OPENINGS & SUNKEN AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" UNSUPPORTED WALL LENGTH)
-3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" UNSUPPORTED WALL LENGTH) -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" **UNSUPPORTED WALL LENGTH** -BARS STACKED VERTICALLY @ INTERIOR FACE OF WALL SPACED 5" O.C. W/ 2" (50mm) CONCRETE COVER & EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

PROPOSED ELECTRICAL PANEL LOCATION PROVIDE 2" X 4" SP#2 SUPPORT WALL ON INSIDE FACE OF CI BEHIND ELECTRICAL PANEL (PANEL LOCATION MAY

(39) ABOVE COOKTOP FIRE PROTECTION FRAMING, FINISHES AND CABINETRY ABOVE A RANGE MUST HAVE A MIN. 2'-6" (750mm) CLEARANCE, UNLESS FRAMING FINISHES AND CABINETRY ARE NON-COMBUSTIBLE, OR ARE PROTECTED AS PER 9.10.22.2(2)(b)(i) AND (ii) (WHERE 24" (600mm) CLEAR REQ'D). MINIMUM 18" (450mm) BETWEEN COMBUSTIBLE FRAMING, FINISHES AND CABINETRY FROM WHERE THE RANGE IS TO BE LOCATED, PROTECTED BY MINIMUM 3/8" (9.5mm) GYPSUM BOARD. (NOT REQ'D WHERE COUNTER TOP SPLASH BOARDS OR BACK PLATES ARE

SMOKE ALARM (O.B.C - 9.10.19.) PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS PROVIDE 1 IN EACH BEDROOM PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS LARMS TO BE CONNECTED IN CIRCUIT AND ITERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF NY ONE OF THEM SOUNDS. ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE OWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, OLLOWED BY 4 MINUTES OF ALARM SMOKE ALARMS SHALL HAVE A VISUAL COMPONENT AS PER

ARBON MONOXIDE ALARM (O.B.C. - 9.33.4.) E PROVIDED ADJACENT TO EACH SLEEPING AREA. MA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS HEN ACTIVATED. WHERE A STORAGE GARAGE IS ATTACHED OR BUILT-IN, A MA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING

MINIMUM 3-2"X6" OR 3-2"X4" BUILT UP COLUMN TO MATCH WALL THICKNESS. SQUASH BLOCKS TO BE PROVIDED TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM

BUILT UP COLUMNS TO BE NAILED WITH 1 ROW FOR 2"X4" COLUMNS AND 2 ROWS, STAGGERED FOR 2"X6" COLUMNS AT 8 1/2" O/C. NAIL LENGTH TO MATCH BUILT UP COLUMN **BASEMENT GENERAL NOTES** - ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING CAPACITY OF 150 KPA. (3135 PSF). (TO BE SITE VERIFIED

CSA G.40.21-M350 AND EMBEDDED PLATES SHALL BE

EQUALLY ON BOTH SIDES OF GARAGE FOUNDATION

BACKELL SHALL BE PLACED AND COMPACTED

- ALL EXPOSED CONCRETE TO BE 32 Mpa W/ 5-7%

ALL FOOTINGS TO HAVE MIN. 2-15M BARS CONT.

- WHEN VENEER CUT IS GREATER THAN 26" A 10"

POURED CONC. FDTN. WALL IS REQUIRED

AFTER 28 DAYS.

GENERAL PURPOSE STEEL.

WALL LEGEND

VARYING WALL HEIGHT

DOUBLE VOLUME WALI

LOAD BEARING WALL

WALLS TO AVOID LATERAL LOADING.

GROUND FLOOR GENERAL NOTES ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOW D BE A MIN. OF 2-2"X8" SPF#1 ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE AND SHALL BE A MIN. OF 4'0" BELOW FINISHED GRADE OTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWAL CONCRETE FOOTINGS AND FOUNDATION WALLS SHALL BOTH SIDES HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA

REATER THAN 7'

L6 3 - 2"X12" SP#2

7 3 1/2" x 3 1/2" x 1/4" (90x90x6) L

L8 3 1/2" x 3 1/2" x 5/16"(90x90x8) L

L9 4" x 3 1/2" x 1/4" (100x90x6) L

10 5" x 3 1/2" x 5/16" (125x90x8)

1 5" x 3 1/2" x 3/8" (125x90x10)

CONC. 4-15m BARS OVER OPENING, EXTENDED

EAM 24" BELOW OPENING W/ 1RE 0m

STIR-UPS @ 12" O/C

L12 6" x 4" x 3/8" (150x100x10) L

PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE STRUCTURAL STEEL MEMBERS AND INSERTS SHALL BE TRIPLE STUDS @ CORNERS

TTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND REFER TO FLOOR TRUSS SHOP DRAWINGS FOR ALL OOR FRAMING INFORMATION

REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. ELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW

CONTRACTOR TO VERIEY ALL FLOOR & ROOF RUSSES, DIMENSIONS AND ENGINEERING. ANY DISCREPANCIES SHALL BE REPORTED TO 1 RISER DESIGNS PRIOR TO CONSTRUCTION.

RIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS

SECOND FLOOR GENERAL NOTES

ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN - ALL 4" & 6" PARTITIONS SHOWN (UNLESS OTHERWISE

NOTED) TO BE 2"X4" OR 2"X6" @ 16" O/C W/ 1/2" DRYWAL BOTH SIDES PROVIDE WALLS WITH DOUBLE TOP PLATE AND SINGLE OTTOM PLATE, DOUBLE STUDS AT ALL OPENINGS AND

TRIPLE STUDS @ CORNERS REFER TO TRUSS SHOP DRAWINGS FOR ALL ROOF RAMING INFORMATION

CONTRACTOR TO VERIFY ALL FLOOR & ROOF RUSSES DIMENSIONS AND ENGINEERING ANY DISCREPANCIES SHALL BE REPORTED TO 1 RISER ESIGNS PRIOR TO CONSTRUCTION.

PAD FOOTING SCHEDULE STEEL COLUMN SCHEDULE DOOR SCHEDULE 2'-10" x 6'-8" - INSULATED ENTRANCE DOOR 24"x24"x12" POURED CONC. PAD 4"X4"X1/4" H.S.S. W/ 6"X10"X1/2" BASE PLATE & 2-3/4" DIA. ANCHOR BOLTS W/ 4 BOLTS 2'-8" x 6'-8" - INSULATED FRONT DOORS 2 36"x36"x16" POURED CONC. PAD 3 1/2"DIA. 1/4" THICK W/ 10"X10"X1/2" BASE PL. W/ 3 42"x42"x19" POURED CONC. PAD 2'-8" x 6'-8" - WOOD & GLASS DOOR 2-3/4" 4 - 1 DIA. ANCHOR BOLTS 6" X 6" X 3/8" THICK W/ 12" X 12" X 1/2" BASE PLATE 2'-8" x 6'-8" x 1-3/4" - EXTERIOR SLAB DOOR F4 48"x48"x22" POURED CONC. PAD @ 4 - 3/4" DIA. ANCHOR BOLTS 5 54"x54"x25" POURED CONC. PAD 3'-0" X 6'-8" X 1-3/4" - EXTERIOR SLAB DOOR 5" X 5" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 60"x60"x28" POURED CONC. PAD 2'-8" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR @ 4 - 3/4" DIA. ANCHOR BOLTS ASSUME SOIL BEARING CAPACITY 150 Kpa 4" X 4" X 1/4" THICK W/ 10" X 10" X 1/2" BASE- PLATE 2'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR O BE SITE VERIFIED @ 4 - 3/4" DIA. ANCHOR BOLTS 2'-2" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR M" 25KN/m2 - USE 4 BOLTS FOR MOMENT CONNECTION 1'-6" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR REBAR NOTES WOOD/STEEL LINTELS WOOD BEAMS 2'-0" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR LL BOTTOM LOWER LEVEL 1 2 - 2"X8" SP#2 B1 2 - 2"X8" SP#2 2-4" x 6'-8" x 1-3/8" - INTERIOR SLAB DOOR L2 3 - 2"X8" SP#2 B.U.L BOTTOM UPPER LEVEL WB2 3 - 2"X8" SP#2 U.L TOP UPPER LEVEL L3 2 - 2"X10" SP#2 WB3 4 - 2"X8" SP# T.A.A. TOP ALL AROUND L4 3 - 2"X10" SP#2 WB4 2 - 2"X10" SP# B.E.W BOTTOM EACH WAY L5 2 - 2"X12" SP#2 WB5 3 - 2"X10" SP#

WB6 4 - 2"X10" SP#

WB7 2 - 2"X12" SP#

. WB8 3 - 2"X12" SP#

WB9 4 - 2"X12" SP#

Appendix C

t is the builder's complete responsibility ensure that all plans submitted for approensure that all plans submitted for approving fully comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contra Architect is not responsible in any way for examining or approving site (lotting) plans covorking drawings with respect to any zoning obtiliding code or permit matter or that an house can be properly built or located on its lot

FOR LOTS: CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN O WILLIAMS LIMITED, ARCHITECT certify tha the plans/drawings comply with the applicabl architectural control guidelines approved by the City of Markham and on file with the Desig Group, Development Services Co

FLOOR AREA CALCULATIONS ELEV. A				FLO
GROUND FLOOR AREA	=	1029	Sq. Ft.	GROUN
SECOND FLOOR AREA	=	1494	Sq. Ft.	SECON
TOTAL FLOOR AREA	=	2523	Sq. Ft.	TOTAL
LOFT FLOOR OPEN AREA	=	0	Sq. Ft.	LOFT FI
2nd FLOOR OPEN AREA	=	0	Sq. Ft.	2nd FLC
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.	ADD TO
ADD FIN. BASEMENT AREA	=	58	Sq. Ft.	ADD FIN.
GROSS FLOOR AREA	=	2581.00	Sq. Ft.	GROSS
GROUND FLOOR COVERAGE	=	1029	Sq. Ft.	GROUN
GARAGE AREA	=	466	Sq. Ft.	GARAG
PORCH AREA	=	44	Sq. Ft.	PORCH
TOTAL COVERAGE W/ PORCH	=	1539	Sq. Ft.	TOTAL CO
	=	142.98	Sq. m.	
TOTAL COVERAGE W/O PORCH	=	1495	Sq. Ft.	TOTAL CO
	=	138.89	Sq. m.	

FLOOR AREA CALCULATIONS ELEV. B				
GROUND FLOOR AREA	=	1044	Sq. Ft.	
SECOND FLOOR AREA	=	1488	Sq. Ft.	
TOTAL FLOOR AREA	=	2532	Sq. Ft.	
LOFT FLOOR OPEN AREA	=	0	Sq. Ft.	
2nd FLOOR OPEN AREA	=	0	Sq. Ft.	
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.	
ADD FIN. BASEMENT AREA	=	58	Sq. Ft.	
GROSS FLOOR AREA	=	2590.00	Sq. Ft.	
GROUND FLOOR COVERAGE	=	1044	Sq. Ft.	
GARAGE AREA	=	460	Sq. Ft.	
PORCH AREA	=	40	Sq. Ft.	
TOTAL COVERAGE W/ PORCH	=	1544	Sq. Ft.	
	=	143.44	Sq. m.	
TOTAL COVERAGE W/O PORCH	=	1504	Sq. Ft.	
	=	139.73	Sq. m.	

FLOOR AREA CALCULATIONS ELEV. C				
=	1029	Sq. Ft.		
Ш	1499	Sq. Ft.		
II	2528	Sq. Ft.		
II	0	Sq. Ft.		
Ш	0	Sq. Ft.		
Ш	0	Sq. Ft.		
Ш	58	Sq. Ft.		
=	2586.00	Sq. Ft.		
=	1029	Sq. Ft.		
Ш	466	Sq. Ft.		
Ш	40	Sq. Ft.		
II	1535	Sq. Ft.		
II	142.61	Sq. m.		
Ш	1495	Sq. Ft.		
Ш	138.89	Sq. m.		
		= 1029 = 1499 = 2528 = 0 = 0 = 0 = 58 = 2586.00 = 1029 = 466 = 40 = 1535 = 142.61 = 1495		

GLAZING CALCULATION CHART EL. A				
GRADE TO SECOND FLOOR	11.75 ft.			
SECOND FLOOR TO TOP OF PLATE	8.03 ft.			
GROUND FLOOR PERIMETER	164.33 ft.			
SECOND FLOOR PERIMETER	164.33 ft.			
TOTAL WALL AREA	3251.01 s.f.			
GLAZING FRONT ELEVATION	85.56 s.f.			
GLAZING LEFT SIDE ELEVATION	200.78 s.f.			
GLAZING RIGHT SIDE ELEVATION	0.00 s.f.			
GLAZING REAR ELEVATION	136.00 s.f.			
TOTAL GLAZING AREA	422.34 s.f.			
ALLOWABLE GLAZING AREA	17 %			
GLAZING AREA	12.99%			

GLAZING CALCULATION CHA	ART EL. B
GRADE TO SECOND FLOOR	11.75 ft.
SECOND FLOOR TO TOP OF PLATE	8.03 ft.
GROUND FLOOR PERIMETER	167.33 ft.
SECOND FLOOR PERIMETER	164.33 ft.
TOTAL WALL AREA	3286.30 s.t
GLAZING FRONT ELEVATION	90.20 s.f.
GLAZING LEFT SIDE ELEVATION	196.91 s.f.
GLAZING RIGHT SIDE ELEVATION	0.00 s.f.
GLAZING REAR ELEVATION	136.00 s.f.
TOTAL GLAZING AREA	423.11 s.f.
ALLOWABLE GLAZING AREA	17 %
GLAZING AREA	12.87%

GLAZING CALCULATION CHART EL. C				
GRADE TO SECOND FLOOR	11.75 ft.			
SECOND FLOOR TO TOP OF PLATE	8.03 ft.			
GROUND FLOOR PERIMETER	164.33 ft.			
SECOND FLOOR PERIMETER	169.33 ft.			
TOTAL WALL AREA	3291.22 s.f.			
GLAZING FRONT ELEVATION	79.33 s.f.			
GLAZING LEFT SIDE ELEVATION	203.89 s.f.			
GLAZING RIGHT SIDE ELEVATION	0.00 s.f.			
GLAZING REAR ELEVATION	136.00 s.f.			
TOTAL GLAZING AREA	419.22 s.f.			
ALLOWABLE GLAZING AREA	17 %			
GLAZING AREA	12.74%			

5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:
RE	VISIONS		

PHONE: (905) 669-2111

FAX: 1 (866) 602-1163

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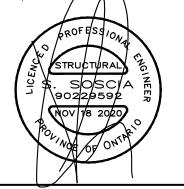
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CONSTRUCTION NOTES

27816

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TREASURE HILL

ARANCIA CITY OF MARKHAM

36'-D5

THE MONTCLAIRE 5

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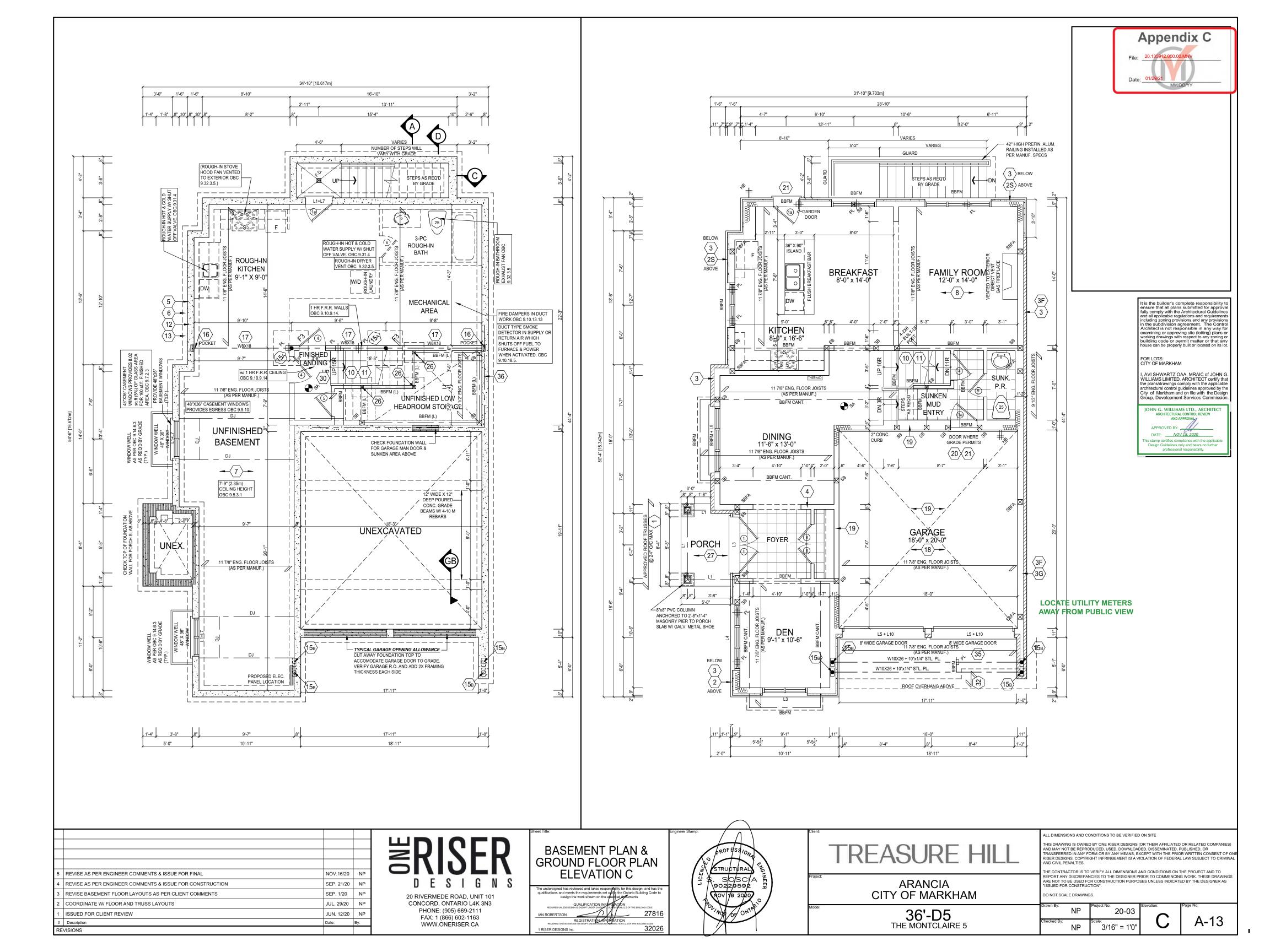
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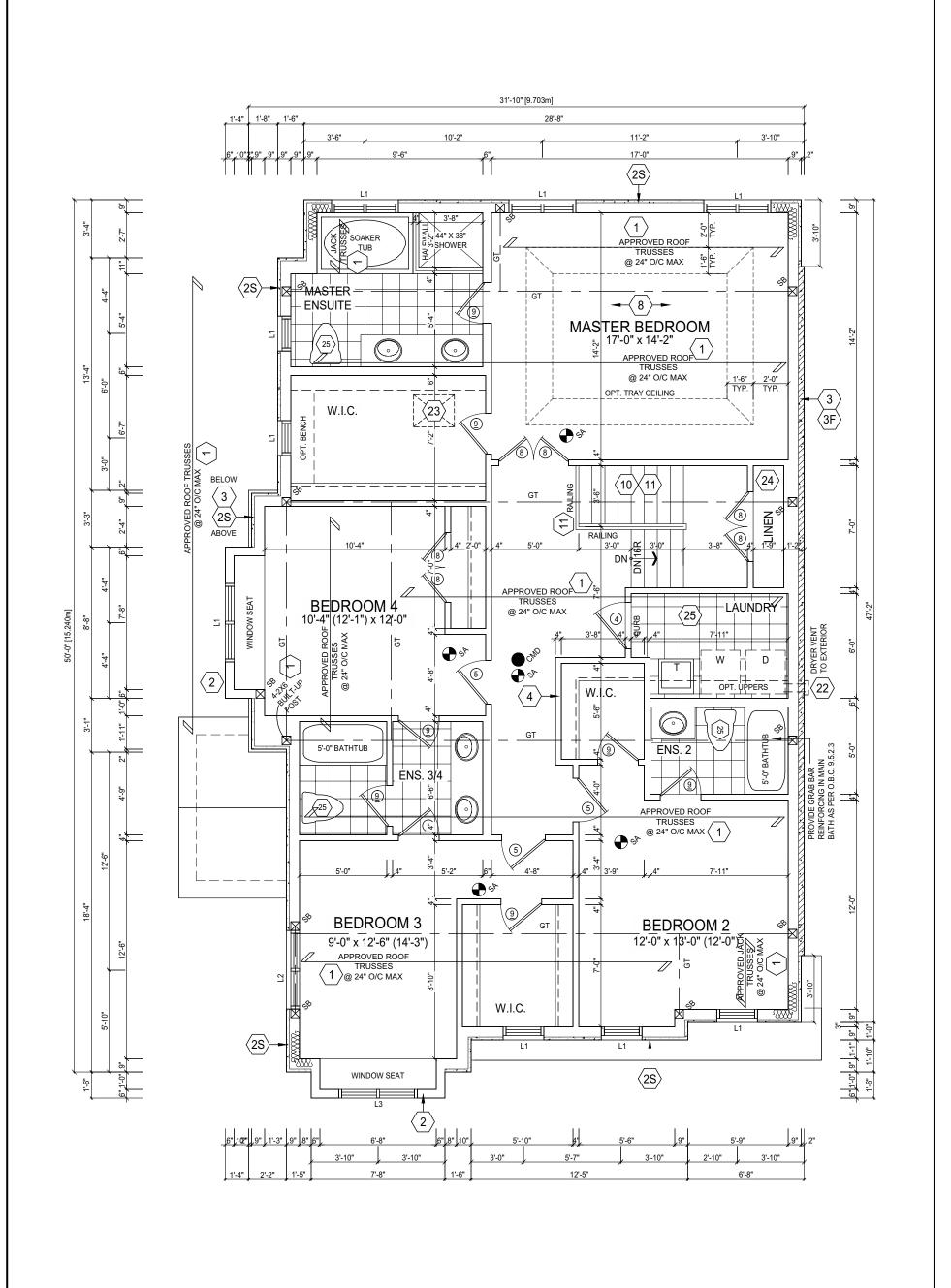
NP 20-03

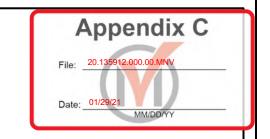
3/16" = 1'0

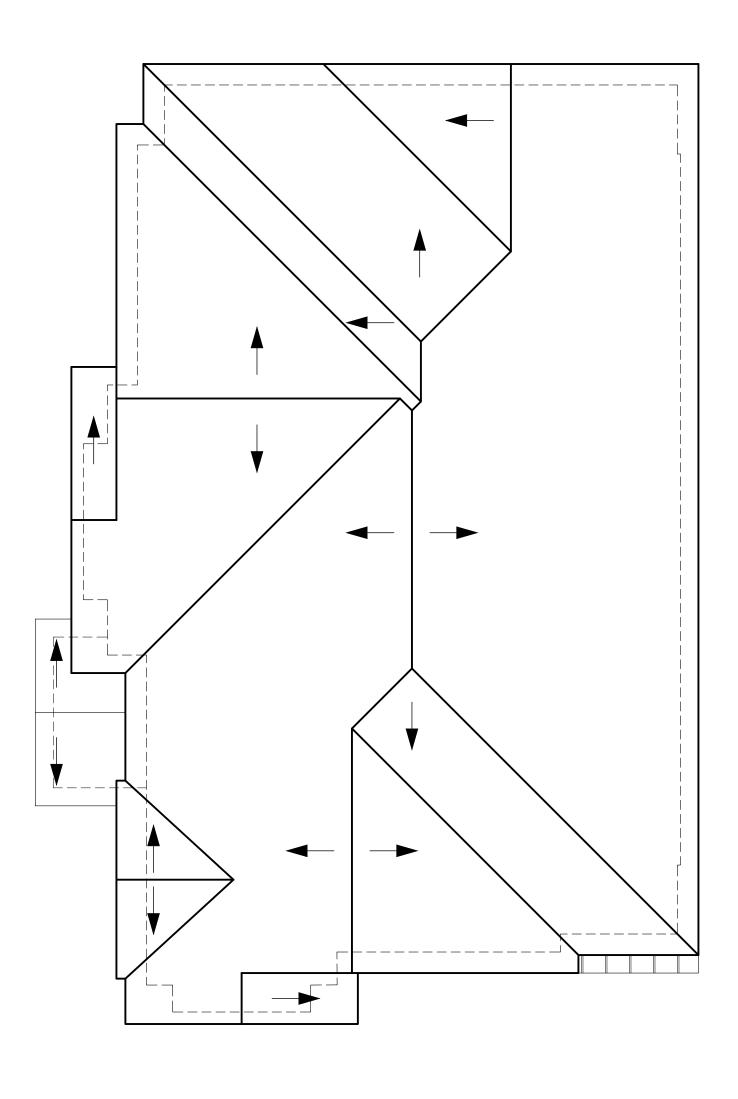
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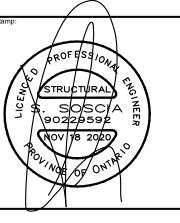
JOHN G. WILLIAMS LTD., ARCHITECT DATE: <u>NOV 18, 2020</u>

NOV.16/20 NP REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION SEP. 21/20 NP REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS SEP. 1/20 NP COORDINATE W/ FLOOR AND TRUSS LAYOUTS JUL. 29/20 NP ISSUED FOR CLIENT REVIEW JUN. 12/20 NP # Description

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SECOND FLOOR & ROOF PLAN ELEVATION C





TREASURE HILL

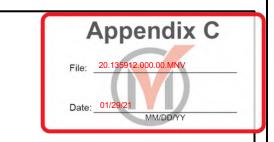
ARANCIA CITY OF MARKHAM

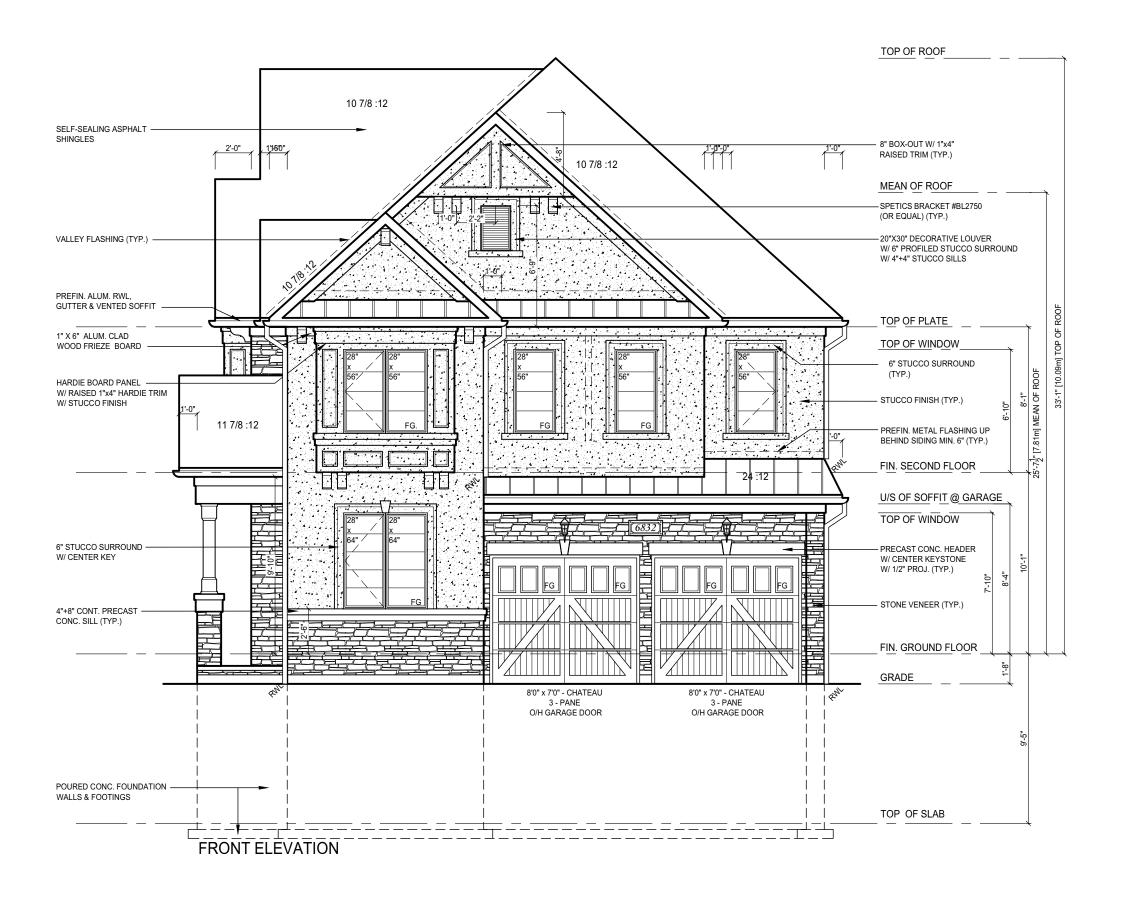
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NP 20-03 NP 3/16" = 1'0"





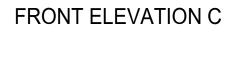
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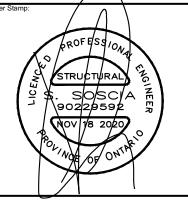
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date:	Ву:



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ARANCIA CITY OF MARKHAM

36'-D5 THE MONTCLAIRE 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE	

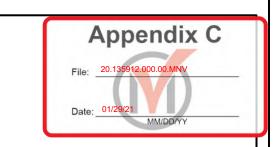
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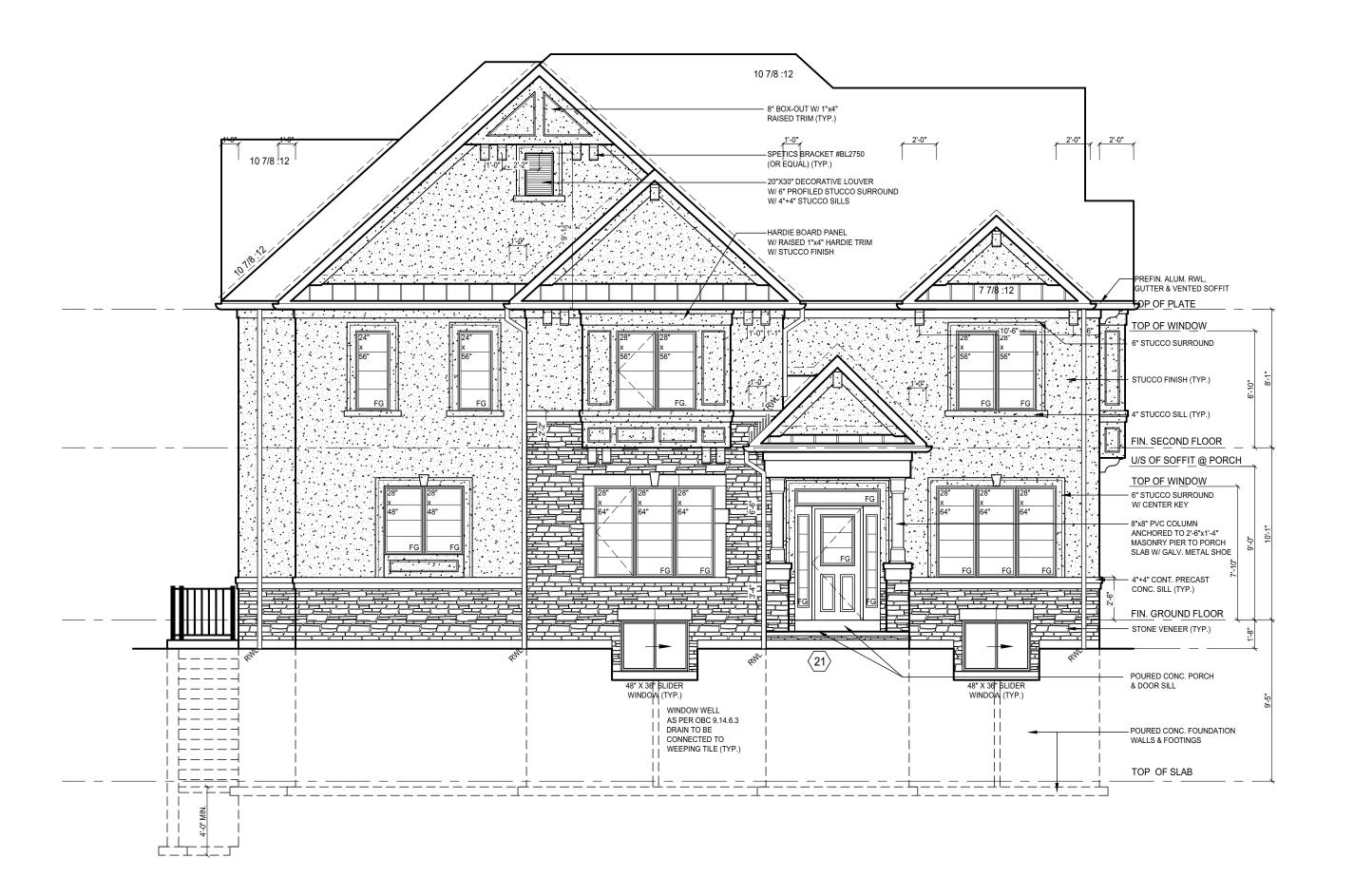
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20-03 3/16" = 1'0"





FOR LOTS: CITY OF MARKHAM

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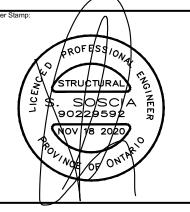
NOV.16/20	NP
SEP. 21/20	NP
SEP. 1/20	NP
JUL. 29/20	NP
JUN. 12/20	NP
Date:	Ву:
	SEP. 21/20 SEP. 1/20 JUL. 29/20 JUN. 12/20



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ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SIT

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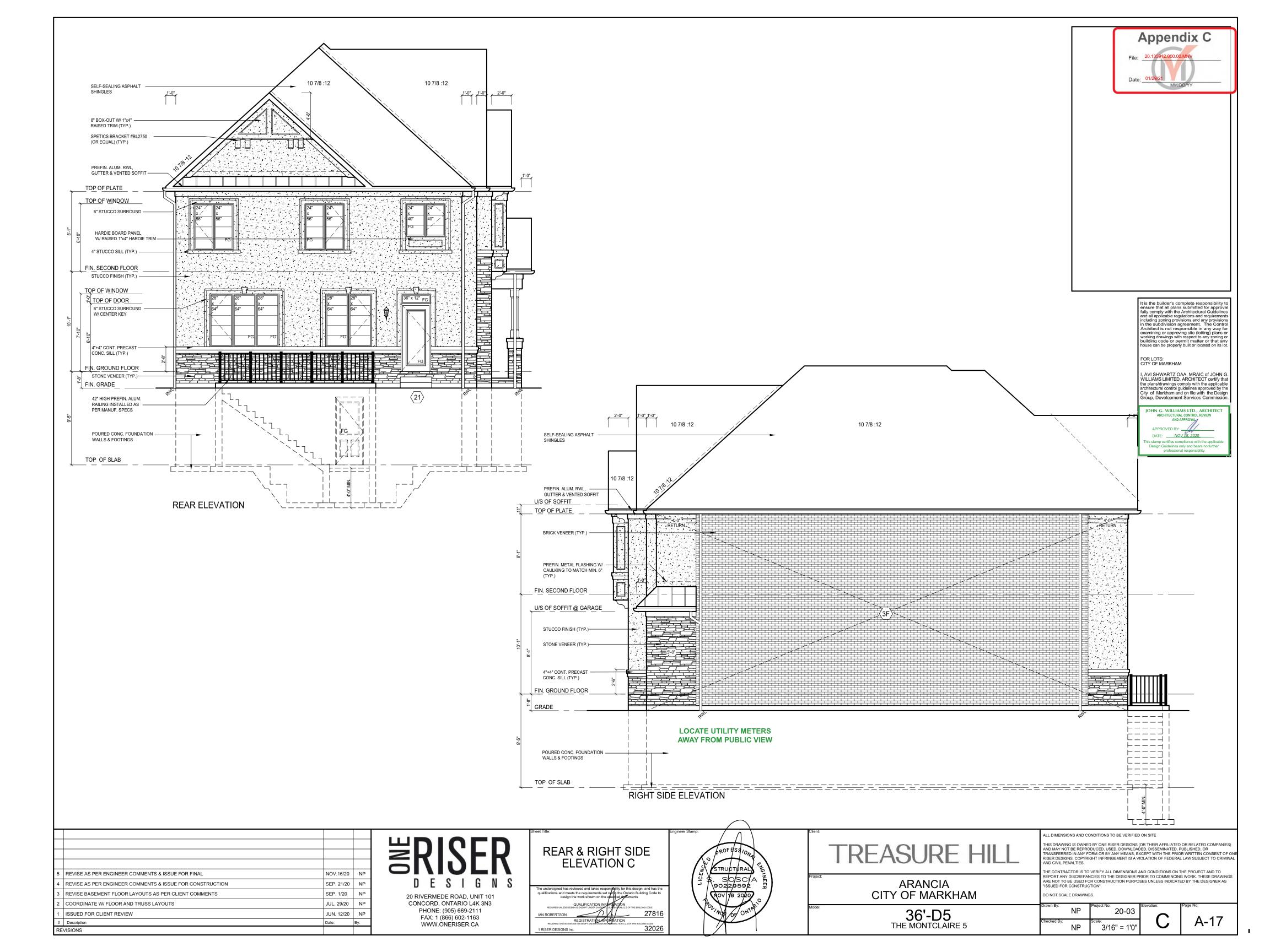
THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

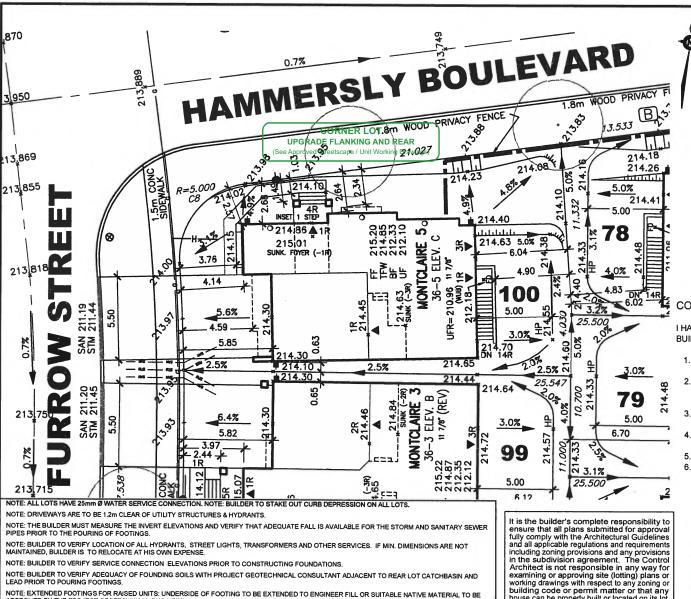
DO NOT SCALE DRAWINGS.

NP Project No: 20-03

Scale: 3/16" = 1'0"

Page No:





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بليليل

SUMP PUMP

COMMUNITY MAILBOX

SWALE DIRECTION

EXCAVATING

EMBANKMENT 3:1 SLOPE

RAIN WATER DOWNSPOUT LOCATION

THIS LOT CONTAINS ENGINEERED FILL

RLCB LEAD PRESENT CAUTION WHEN

(DISCHARGE ONTO SPLASHPAD)

MAJOR MACKENZIE DRIVE BOULEVARD FRED MCLAREN BOULEVARD **KEY PLAN**

CONSULTANTS CERTIFICATION:

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

- THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
- THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS
- THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
- THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
- ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
- WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE

SCHARFFERS AND ASSOCIATES

building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

IOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL APPROVED BY This stamp certifies compliance with the applicable I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code

Individual BCIN: 22445

No. A/050/20 ZONING INFORMATION - LOT 100 BUILDING HEIGHT (11.00m max.) 8.61m LOT FRONTAGE 11.83m LOT AREA 342.90m2 PROPOSED COVERAGE FRONT YARD AREA 142.61m2 (41.59%) 56.86m2 SOFT LANDSCAPE AREA (23% min.) 20.46m2 (35.98%)

Appendix C

20.135912.000.00.MNV

Date:

reasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3 T: 416-987-5500 • F: 905-326-3600

Project Name:

ARANCIA INVESTMENT CORP. MARKHAM, ONT.

Sheet Title:

SITING & GRADING PLAN **REGISTERED PLAN No: 65M-4573**

LOT: 100

Drawn by: OCT. 30/20

Scale: 1:250

Design Guidelines only and bears no further professional responsibility

UNDERSIDE FOOTING ELEVATION FIN. BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL UFR UNDERSIDE FOOTING AT REAR LIFE UNDERSIDE FOOTING AT FROM MBE MINIMUM BASEMENT ELEVATION WOB WALK OUT BASEMENT WUB WALK UP BASEMENT REV REVERSE PLAN EXTERIOR DOOR LOCATION SIDE WINDOW LOCATION

FINISHED FLOOR ELEVATION

APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FLOOR DRAIN

AIR CONDITIONER

SYU

REAR YARD UPGRADE SIDE YARD UPGRADE

DENOTES STORM & SANITARY DOUBLE CONNECTION <u>_____</u> -6AN - SINGLE SAN, CONNECTION -STM---SINGLE STM. CONNECTION СВ□ CATCH BASIN HYDRANT PROPOSED VALVE TRANSFORMER STREETLIGHT POLE

HYDRO SERVICE LATERAL

WATER SERVICE

BELL PEDESTAL

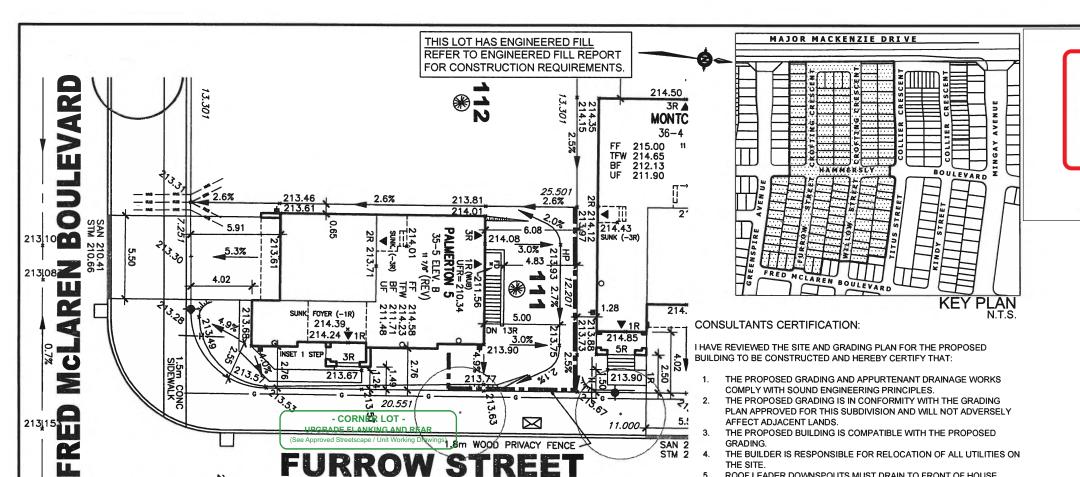
GAS TRENCH LINE

•

BELL FLUSH-TO-GRADE JUNCTION BOX ROGERS PEDESTAL ROGERS FLUSH-TO-GRADE JUNCTION BOX_

RETAINING WALL PRIVACY FENCE (SEE ENG. DWG.) ACOUSTICAL FENCE (SEE ENG. DWG.) CHAIN LINK FENCE (SEE ENG. DWG.)

TonyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM



NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION, NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.

1.2%

NOTE: THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS

NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.

NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FINISHED FLOOR ELEVATION UNDERSIDE FOOTING ELEVATION FIN BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL UFR UNDERSIDE FOOTING AT REAR LIFE LINDERSIDE FOOTING AT FRONT MINIMUM BASEMENT ELEVATION WOB WALK OUT BASEMENT WUB WALK UP BASEMENT REV REVERSE PLAN Δ EXTERIOR DOOR LOCATION SIDE WINDOW LOCATION FLOOR DRAIN AIR CONDITIONER REAR YARD UPGRADE SYU SIDE YARD UPGRADE

213l238

HYDRO SERVICE LATERAL WATER SERVICE DENOTES STORM & SANITARY DOUBLE CONNECTION -SAN - - SINGLE SAN, CONNECTION -STM---SINGLE STM. CONNECTION CATCH BASIN HYDRANT PROPOSED VALVE TRANSFORMER

STREETLIGHT POLE BELL PEDESTAL ROGERS PEDESTAL 儞

(DISCHARGE ONTO SPLASHPAD) SWALE DIRECTION EMBANKMENT 3:1 SLOPE THIS LOT CONTAINS ENGINEERED FILL RLCB LEAD PRESENT CAUTION WHEN EXCAVATING RETAINING WALL PRIVACY FENCE BELL FLUSH-TO-GRADE JUNCTION BOX (SEE ENG. DWG.) ACOUSTICAL FENCE (SEE ENG. DWG.) ROGERS FLUSH-TO-GRADE JUNCTION BOX_ CHAIN LINK FENCE GAS TRENCH LINE (SEE ENG. DWG.) TonyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM Signature

 \mathbf{M}

SUMP PUMP

COMMUNITY MAILBOX

RAIN WATER DOWNSPOUT LOCATION

Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL & NOV 16, 2020 his stamp certifies compliance with the applicable Design Guidelines only and hears no further

professional responsibility

t is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control

Individual BCIN: 22445

YARD.

SCHAEFFERS AND ASSOCIATES I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.

WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE

Appendix C

20.135912.000.00.MN\

Date:

ZONING INFORMATION - LOT 111 BUILDING HEIGHT (11.00m max.) No. A/050/20 LOT FRONTAGE 12.20m LOT AREA 305.90m2 133.78m2 (43.73%) PROPOSED COVERAGE FRONT YARD AREA 55.62m2 SOFT LANDSCAPE AREA (23% min.) 19.96m2 (35.89%)

|reasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3 T: 416-987-5500 • F: 905-326-3600

Project Name:

ARANCIA INVESTMENT CORP. MARKHAM, ONT.

Sheet Title:

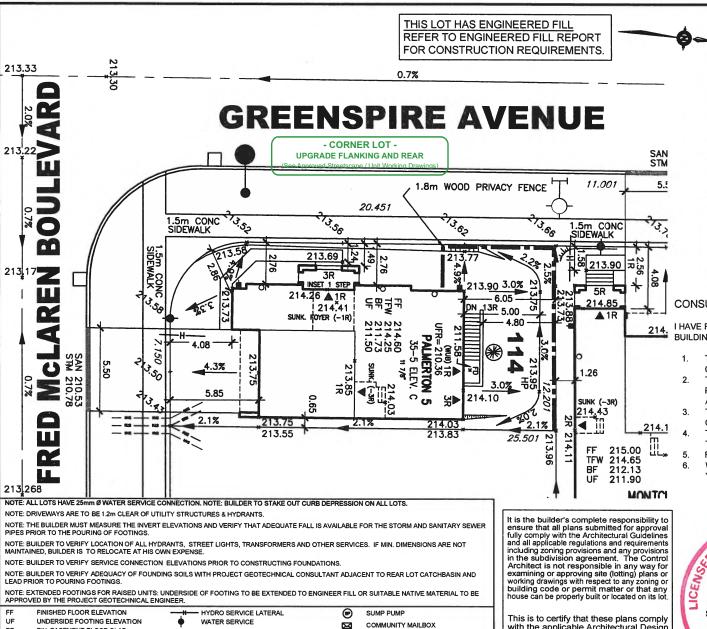
SITING & GRADING PLAN **REGISTERED PLAN No: 65M-4573**

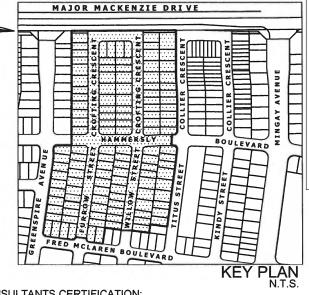
LOT: 111

OCT. 30/20

Drawn by:

1.250





CONSULTANTS CERTIFICATION:

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

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JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND ADDDOVAL

NOV 16, 2020

A Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

Individual BCIN: 22445

ZONING INFORMATION - LOT 114 BUILDING HEIGHT (11.00m max.) No. A/050/20 LOT FRONTAGE 12.20m LOT AREA 305.60m2 PROPOSED COVERAGE 135.36m2 (44.29%) FRONT YARD AREA 55.99m2 SOFT LANDSCAPE AREA (23% min.) 20.31m2 (36.27%)

Appendix C

20.135912.000.00.MN\

Date:

reasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3 T: 416-987-5500 • F: 905-326-3600

Project Name:

ARANCIA INVESTMENT CORP. MARKHAM, ONT.

SITING & GRADING PLAN **REGISTERED PLAN No: 65M-4573**

LOT: 114

Drawn by: OCT, 30/20

1:250

SCHAEFFERS AND ASSOCIATES

This stamp certifies compliance with the applicable Design Guidelines only and hears no further professional responsibility

DENOTES STORM & SANITARY DOUBLE CONNECTION TFW TOP OF FOUNDATION WALL UFR UNDERSIDE FOOTING AT REAR -6AN - SINGLE SAN, CONNECTION UFF UNDERSIDE FOOTING AT FRONT - CTM- -- SINGLE STM. CONNECTION MBE MINIMUM BASEMENT ELEVATION WOB WALK OUT BASEMENT WALK UP BASEMENT WIR REV REVERSE PLAN EXTERIOR DOOR LOCATION SIDE WINDOW LOCATION

FIN BASEMENT FLOOR SLAB

FLOOR DRAIN AIR CONDITIONER

REAR YARD UPGRADE

SIDE YARD UPGRADE

STREETLIGHT POLE BELL PEDESTAL ROGERS PEDESTAL

CATCH BASIN

PROPOSED VALVE

TRANSFORMER

HYDRANT

BELL FLUSH-TO-GRADE JUNCTION BOX ROGERS FLUSH-TO-GRADE JUNCTION BOX_ GAS TRENCH LINE

(SEE ENG. DWG.) ACOUSTICAL FENCE (SEE ENG. DWG.) CHAIN LINK FENCE (SEE ENG. DWG.)

RAIN WATER DOWNSPOUT LOCATION

THIS LOT CONTAINS ENGINEERED FILL

RLCB LEAD PRESENT CAUTION WHEN

PRIVACY FENCE

(DISCHARGE ONTO SPLASHPAD)

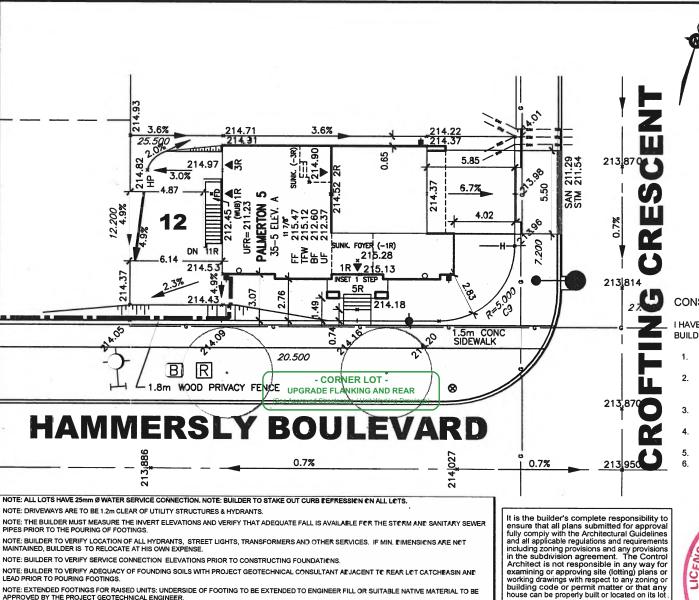
SWALE DIRECTION

EXCAVATING

RETAINING WALL

EMBANKMENT 3:1 SLOPE

TanyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM



MAJOR MACKENZIE DRIVE BOULEVARD FRED MCLAREN BOULEVARD

Appendix C

20.135912.000.00.MN\

Date:

CONSULTANTS CERTIFICATION:

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- THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
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- WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

ZONING INFORMATION - LOT 12 LOT FRONTAGE LOT AREA PROPOSED COVERAGE FRONT YARD AREA SOFT LANDSCAPE AREA (23% min.)

reasure Hill

No. A/050/20

135.36m2 (44.28%)

12.20m

305.70m2

55.46m2

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3

ARANCIA INVESTMENT CORP.

Sheet Title:

SITING & GRADING PLAN **REGISTERED PLAN No: 65M-4573**

LOT: 12

Drawn by:

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

IOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

This stamp certifies compliance with the applicable Design Guidelines only and bears no further

FINISHED FLOOR ELEVATION UF UNDERSIDE FOOTING ELEVATION BF FIN. BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL UFR UNDERSIDE FOOTING AT REAR UFF UNDERSIDE FOOTING AT FRONT MINIMUM BASEMENT ELEVATION WOB WALK OUT BASEMENT WUB WALK UP BASEMENT REV REVERSE PLAN EXTERIOR DOOR LOCATION 0 SIDE WINDOW LOCATION FLOOR DRAIN AIR CONDITIONER REAR YARD UPGRADE

SIDE YARD UPGRADE

HYDRO SERVICE LATERAL WATER SERVICE DENOTES STORM & SANITARY DOUBLE CONNECTION -6AN - SINGLE SAN. CONNECTION -GTM---SINGLE STM. CONNECTION СВ□ CATCH BASIN HYDRANT

PROPOSED VALVE TRANSFORMER STREETLIGHT POLE BELL PEDESTAL

GAS TRENCH LINE

BELL FLUSH-TO-GRADE JUNCTION BOX ROGERS FLUSH-TO-GRADE JUNCTION BOX

EXCAVATING RETAINING WALL PRIVACY FENCE (SEE ENG. IDWG.) ACCUSTICAL FENCE (SEE ENG. IDWG.) CHAIN LINK FENCE (SEE ENG. IDWG.)

SLIMP PLIMP

COMMUNITY MAILBOX

SWALE DIRECTION

TTTT EMBANKMENT 3:1 SLOPE

RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)

THIS LOT CONTAINS ENGINEERED FILL

RLCE LEAD PRESENT CAUTION WHEN

professional responsibility

Teny® - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM

Individual BCIN: 22445

subsection 3.2.5.of Division C, of the Building Code.

SC WEFFERS AND AS Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate

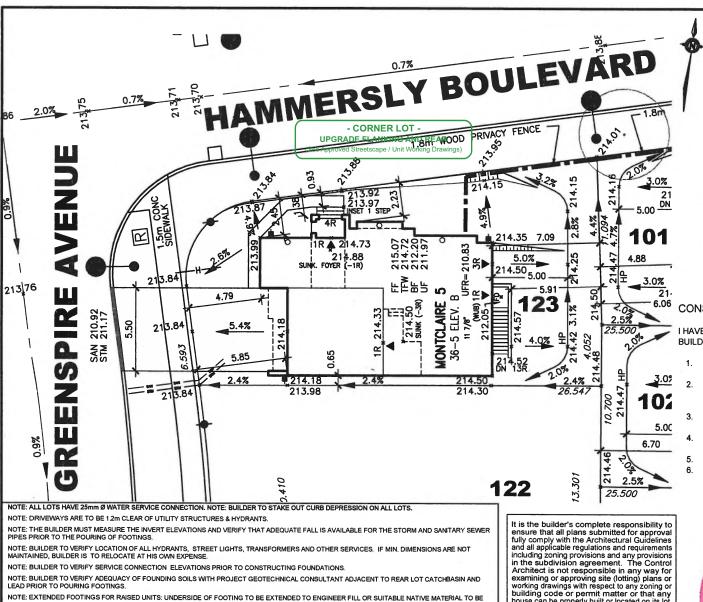
category as an "other designer" under

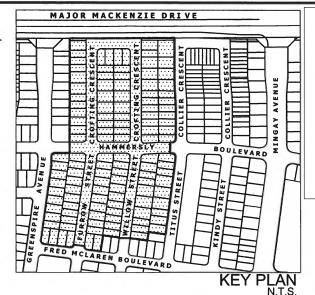
T: 416-987-5500 • F: 905-326-3600

Project Name:

MARKHAM, ONT.

Date: OCT. 30/20 Scale 1.250





CONSULTANTS CERTIFICATION:

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- WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE

building code or permit matter or that any house can be properly built or located on its lot

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

IOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL This stamp certifies compliance with the applicable

the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

ZONING INFORMATION - LOT 123 BUILDING HEIGHT (11.00m max.) No. A/050/20 LOT FRONTAGE 11.57m LOT AREA 358.80m2 143.44m2 (39.98%) PROPOSED COVERAGE FRONT YARD AREA 62.39m2 SOFT LANDSCAPE AREA (23% min.) 24.47m2 (39.22%)

Appendix C

20.135912.000.00.MN\

Date:

reasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3 T: 416-987-5500 • F: 905-326-3600

Project Name:

ARANCIA INVESTMENT CORP. MARKHAM, ONT.

SITING & GRADING PLAN **REGISTERED PLAN No: 65M-4573**

LOT: 123

Drawn by: OCT. 30/20 1:250

19 Ours Pantaleo, review and take responsibility for

Individual BCIN: 22445 Design Guidelines only and bears no further professional responsibility.

APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. FINISHED FLOOR ELEVATION UNDERSIDE FOOTING ELEVATION FIN. BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL UNDERSIDE FOOTING AT REAR UFF UNDERSIDE FOOTING AT FROM MBE MINIMUM BASEMENT ELEVATION WOB WALK OUT BASEMENT WUB WALK UP BASEMENT REV REVERSE PLAN

DENOTES STORM & SANITARY

EXTERIOR DOOR LOCATION SIDE WINDOW LOCATION FLOOR DRAIN

AIR CONDITIONER REAR YARD UPGRADE

SYU

SIDE YARD UPGRADE

BELL FLUSH-TO-GRADE JUNCTION BOX ROGERS PEDESTAL ROGERS FLUSH-TO-GRADE JUNCTION BOX_ Œ GAS TRENCH LINE

- HYDRO SERVICE LATERAL

WATER SERVICE

-SAN - SINGLE SAN CONNECTION

-STM---SINGLE STM. CONNECTION

PROPOSED VALVE

STREETLIGHT POLE

TRANSFORMER

BELL PEDESTAL

CATCH BASIN

HYDRANT

RLCB LEAD PRESENT CAUTION WHEN EXCAVATING RETAINING WALL PRIVACY FENCE (SEE ENG. DWG.) ACOUSTICAL FENCE (SEE ENG. DWG.)

SUMP PUMP

COMMUNITY MAILBOX

SWALE DIRECTION

EMBANKMENT 3:1 SLOPE

RAIN WATER DOWNSPOUT LOCATION

THIS LOT CONTAINS ENGINEERED FILL

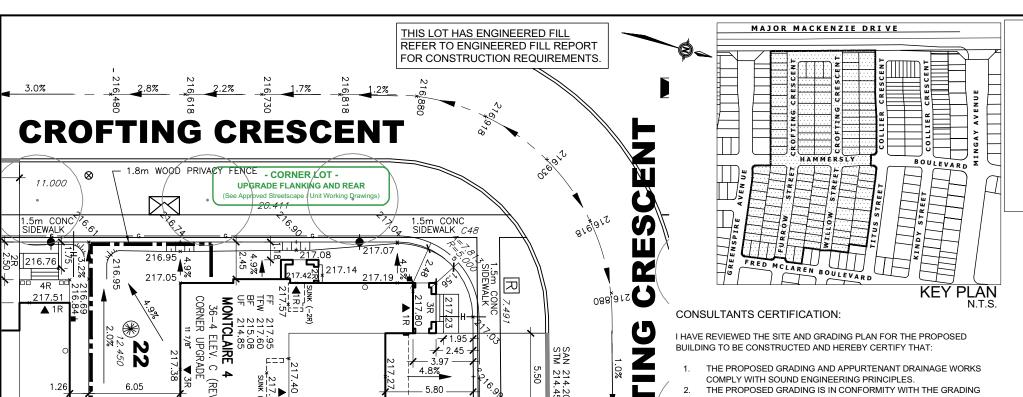
(DISCHARGE ONTO SPLASHPAD)

(2)

M

CHAIN LINK FENCE (SEE ENG. DWG.)

onyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM



13.300

- PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
- THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED
- THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON
- ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
- WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

ARCHITECTURAL CONTROL REVIEW This stamp certifies compliance with the applicable Design Guidelines only and bears no further



I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

Individual BCIN: 22445

LOT AREA PROPOSED COVERAGE 148.09m2 (47.60%) FRONT YARD AREA 50.92m2 SOFT LANDSCAPE AREA (23% min.)

ZONING INFORMATION - LOT 22 BUILDING HEIGHT (11.00m max.)

Appendix C

20.135912.000.00.MN\

Date:

reasure Hil

10.55m

12.45m

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3 T: 416-987-5500 • F: 905-326-3600

Proiect Name:

LOT FRONTAGE

ARANCIA INVESTMENT CORP. MARKHAM, ONT.

SITING & GRADING PLAN REGISTERED PLAN No: 65M-4573

LOT: 22

Drawn by: Scale: NOV. 4/20 1:250

216,780

JOHN G. WILLIAMS LTD., ARCHITECT

professional responsibility

RETAINING WALL PRIVACY FENCE

(SEE ENG. DWG.) ACOUSTICAL FENCE (SEE ENG. DWG.) CHAIN LINK FENCE

.65

(SP)

 \bowtie

₩

SUMP PUMP

EXCAVATING

COMMUNITY MAILBOX

EMBANKMENT 3:1 SLOPE

RAIN WATER DOWNSPOUT LOCATION

THIS LOT CONTAINS ENGINEERED FILL

RLCB LEAD PRESENT CAUTION WHEN

(DISCHARGE ONTO SPLASHPAD)

SUNK (-1R

217.66 217.31

214.79

214.56

BF UF

MBE

WUB

REV

NN N 25.472 217.07

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS

MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FINISHED ELOOR ELEVATION

FIN BASEMENT FLOOR SLAB

TOP OF FOUNDATION WALL

EXTERIOR DOOR LOCATION

SIDE WINDOW LOCATION

REAR YARD UPGRADE

SIDE YARD UPGRADE

WALK UP BASEMENT

REVERSE PLAN

FLOOR DRAIN

AIR CONDITIONER

UNDERSIDE FOOTING AT FRONT

MINIMUM BASEMENT ELEVATION

NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION, NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS

NOTE: BUILDER TO VERIEY SERVICE CONNECTION. ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS

(B)

R

NOTE: THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER

NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND

NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE

DENOTES STORM & SANITARY

BELL FLUSH-TO-GRADE JUNCTION BOX

ROGERS FLUSH-TO-GRADE JUNCTION BOX_

DOUBLE CONNECTION

-SAN - SINGLE SAN, CONNECTION

-STM---SINGLE STM CONNECTION

PROPOSED VALVE

STREETLIGHT POLE

ROGERS PEDESTAL

TRANSFORMER

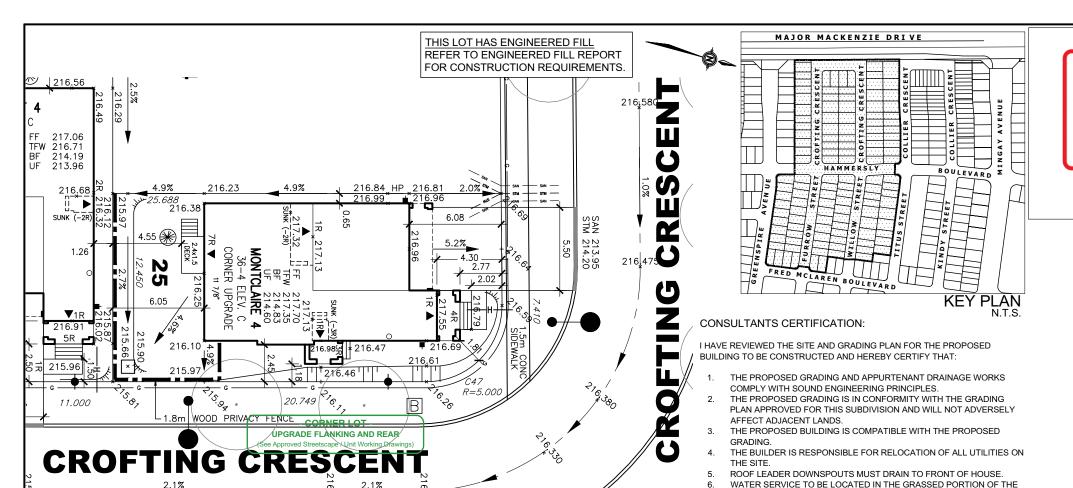
BELL PEDESTAL

CATCH BASIN

HYDRANT

WATER SERVICE

onyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM



NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION. NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS

NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS

NOTE: THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER

MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

NOTE: BUILDER TO VERIEY SERVICE CONNECTION. ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS

R

NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND

NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FINISHED FLOOR ELEVATION UNDERSIDE FOOTING ELEVATION FIN BASEMENT FLOOR SLAB TOP OF FOUNDATION WALL UFF UNDERSIDE FOOTING AT FRONT MBE MINIMUM BASEMENT ELEVATION WUB WALK UP BASEMENT REV REVERSE PLAN EXTERIOR DOOR LOCATION SIDE WINDOW LOCATION 0 FD FLOOR DRAIN AIR CONDITIONER REAR YARD UPGRADE SIDE YARD UPGRADE

WATER SERVICE **DENOTES STORM & SANITARY** DOUBLE CONNECTION -SAN - SINGLE SAN, CONNECTION -STAL -- SINGLE STM CONNECTION CATCH BASIN HYDRANT PROPOSED VALVE TRANSFORMER STREETLIGHT POLE

BELL PEDESTAL (B) BELL FLUSH-TO-GRADE JUNCTION BOX ROGERS PEDESTAL

THIS LOT CONTAINS ENGINEERED FILL RLCB LEAD PRESENT CAUTION WHEN ₩ EXCAVATING RETAINING WALL PRIVACY FENCE (SEE ENG. DWG.) ACOUSTICAL FENCE (SEE ENG. DWG.) ROGERS FLUSH-TO-GRADE JUNCTION BOX_ CHAIN LINK FENCE

(SP)

 \bowtie

SUMP PUMP

COMMUNITY MAILBOX

SWALE DIRECTION

EMBANKMENT 3:1 SLOPE

RAIN WATER DOWNSPOUT LOCATION

(DISCHARGE ONTO SPLASHPAD)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW This stamp certifies compliance with the applicable Design Guidelines only and bears no further

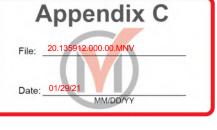
professional responsibility



YARD.

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

Individual BCIN: 22445



ZONING INFORMATION - LOT 25 BUILDING HEIGHT (11.00m max.) LOT FRONTAGE LOT AREA PROPOSED COVERAGE FRONT YARD AREA SOFT LANDSCAPE AREA (23% min.)

reasure Hil

10.92m

12.45m

315.00m2

54.70m2

148.09m2 (47.01%)

17.25m2 (31.54%)

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3 T: 416-987-5500 • F: 905-326-3600

Proiect Name:

ARANCIA INVESTMENT CORP. MARKHAM, ONT.

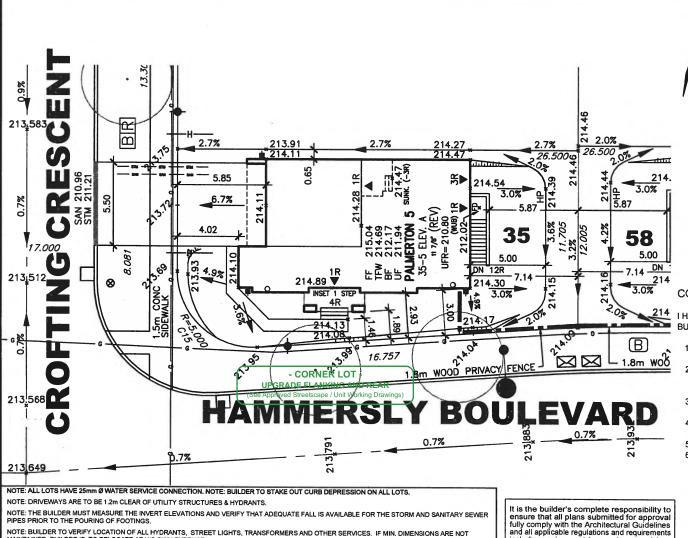
SITING & GRADING PLAN REGISTERED PLAN No: 65M-4573

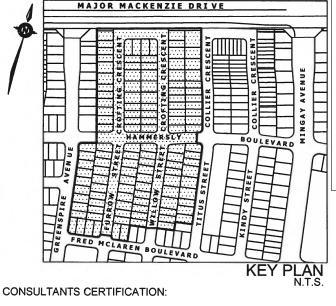
LOT: 25

Drawn by: NOV. 4/20

Scale: 1:250

onyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM





I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

- THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
- THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
- THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
- THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
- ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
- WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE

fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL NOV 16, 2020 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

Individual BCIN: 22445

MARKHAM, ONT. Sheet Title: SITING & GRADING PLAN

ARANCIA INVESTMENT CORP.

LOT: 35

Project Name:

ZONING INFORMATION - LOT 35 BUILDING HEIGHT (11.00m max.)

PROPOSED COVERAGE FRONT YARD AREA SOFT LANDSCAPE AREA (23% min.)

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LOT FRONTAGE

LOT AREA

Drawn by:

REGISTERED PLAN No: 65M-4573

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3

reasure Hil

No. A/050/20

135.364m2 (41.50%)

12.13m

59.00m2

326.20m2

Appendix C

20.135912.000.00.MN\

Date:

Date: OCT. 30/20 1:250

FINISHED FLOOR ELEVATION UNDERSIDE FOOTING ELEVATION WATER SERVICE FIN. BASEMENT FLOOR SLAB TFW TOP OF FOUNDATION WALL UFR UNDERSIDE FOOTING AT REAR UFF UNDERSIDE FOOTING AT FRONT MRF MINIMUM BASEMENT ELEVATION CATCH BASIN WOB WALK OUT BASEMENT HYDRANT WUB WALK UP BASEMENT REV REVERSE PLAN TRANSFORMER EXTERIOR DOOR LOCATION SIDE WINDOW LOCATION BELL PEDESTAL o FD FLOOR DRAIN

NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS

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MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

LEAD PRIOR TO POURING FOOTINGS.

AIR CONDITIONER

SYU

REAR YARD UPGRADE

SIDE YARD LIPGRADE

- HYDRO SERVICE LATERAL DENOTES STORM & SANITARY DOUBLE CONNECTION -6AN - - SINGLE SAN, CONNECTION -STM---SINGLE STM. CONNECTION PROPOSED VALVE STREETLIGHT POLE

NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND

NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE

THIS LOT CONTAINS ENGINEERED FILL RLCB LEAD PRESENT CAUTION WHEN **EXCAVATING**

RETAINING WALL PRIVACY FENCE BELL FLUSH-TO-GRADE JUNCTION BOX (SEE ENG. DWG.) ROGERS PEDESTAL (SEE ENG. DWG.) ROGERS FLUSH-TO-GRADE JUNCTION BOX_ CHAIN LINK FENCE GAS TRENCH LINE (SEE ENG. DWG.)

⊠

SUMP PUMP

COMMUNITY MAILBOX

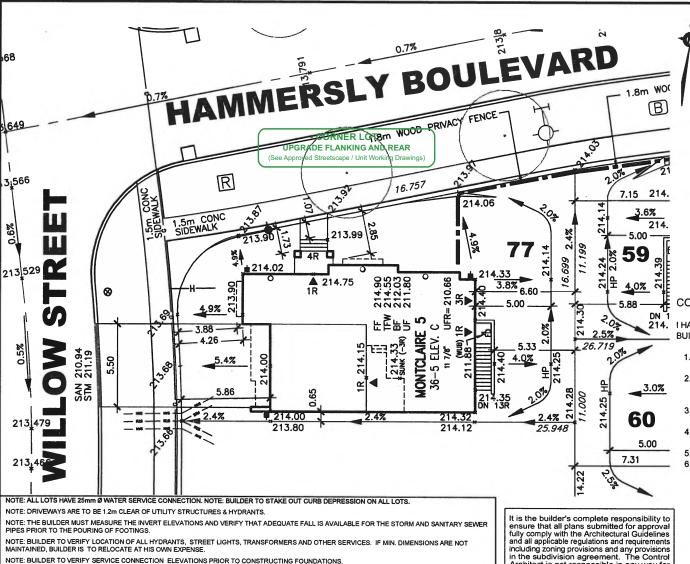
SWALE DIRECTION

EMBANKMENT 3:1 SLOPE

RAIN WATER DOWNSPOUT LOCATION

(DISCHARGE ONTO SPLASHPAD)

TonyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Mon, Nov 2 2020 - 7:54 AM



FRED MCLAREN BOULEVARD **KEY PLAN**

MAJOR MACKENZIE DRIVE

CONSULTANTS CERTIFICATION:

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

- THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
- THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
- THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
- THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
- ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
- WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE

SCHAEFFERS AND ASSOCIATES

Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL NOV 16, 2020 This stamp certifies compliance with the applicable I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under

Individual BCIN: 22445

subsection 3.2.5.of Division C, of the Building Code.

No. A/050/20 **ZONING INFORMATION - LOT 77** BUILDING HEIGHT (11.00m max.) LOT FRONTAGE 11.80m LOT AREA

Appendix C

20.135912.000.00.MN\

Date:

365.90m2 142.61m2 (38.98%) 57.97m2 SOFT LANDSCAPE AREA (23% min.)

reasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3 T: 416-987-5500 • F: 905-326-3600

Project Name:

PROPOSED COVERAGE

FRONT YARD AREA

ARANCIA INVESTMENT CORP. MARKHAM, ONT.

Sheet Title:

SITING & GRADING PLAN **REGISTERED PLAN No: 65M-4573**

LOT: 77

Scale: 1:250

Date: OCT, 30/20 Drawn by:

NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. FINISHED FLOOR ELEVATION HYDRO SERVICE LATERAL UNDERSIDE FOOTING ELEVATION WATER SERVICE FIN RASEMENT FLOOR SLAR TOP OF FOUNDATION WALL

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UNDERSIDE FOOTING AT REAR UNDERSIDE FOOTING AT FRONT MINIMUM BASEMENT ELEVATION СВ□ WALK OUT BASEMENT WALK UP BASEMENT

REVERSE PLAN EXTERIOR DOOR LOCATION SIDE WINDOW LOCATION FLOOR DRAIN

AIR CONDITIONER REAR YARD UPGRADE SIDE YARD UPGRADE

TFW

LIEE

MBE

WOB

WUB

REV

DENOTES STORM & SANITARY DOUBLE CONNECTION -SAN - SINGLE SAN. CONNECTION - OTM- -- SINGLE STM. CONNECTION CATCH BASIN HYDRANT PROPOSED VALVE

NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND

TRANSFORMER STREETLIGHT POLE RELI PEDESTAL

GAS TRENCH LINE

BELL FLUSH-TO-GRADE JUNCTION BOX ROGERS PEDESTAL

ROGERS FLUSH-TO-GRADE JUNCTION BOX___ CHAIN LINK FENCE SEE ENG. DWG.)

✐

SUMP PUMP

EXCAVATING

COMMUNITY MAILBOX

SWALE DIRECTION

EMBANKMENT 3:1 SLOPE

RETAINING WALL PRIVACY FENCE (SEE ENG. DWG.) ACOUSTICAL FENCE (SEE ENG. DWG.)

RAIN WATER DOWNSPOUT LOCATION

THIS LOT CONTAINS ENGINEERED FILL

RLCB LEAD PRESENT CAUTION WHEN

(DISCHARGE ONTO SPLASHPAD)

Design Guidelines only and hears no further professional responsibility

TenyP - C:\1-Projects\Arancia\Arancia LOT.dwg - Men, Nov 2 2020 - 7:54 AM

